

**ADKACTION.ORG**

**Presents**

**LAKE FRONT VALUATION IN  
THE NORTH COUNTRY**



**Lake Placid Olympic Center  
Lake Placid, New York**

**SEPTEMBER 17, 2015**

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LEAD INSTRUCTOR  
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# **CONSIDERATIONS IN ASSESSING & APPRAISING LAKE FRONT PROPERTIES**

- 1) **Lake Location** – Lakes and ponds in close proximity or in the same town can have completely different levels of value.
- 2) **Number of Sales** – Limited available comparable sales.  
**Options:** Go back in time or determine other comparable waterfront sales (Risky).
- 3) **Number of Vacant Land Sales** – Limited, difficult to determine waterfront land value.
- 4) **Types and Quality of Lake Frontage** - Sand, Stone, Shallow, Deep Water, Weed Infestation.
- 5) **Topography** - (Cliffs, Points, Flat).
- 6) **Property Access** – Year Around, Seasonal, Right of Way.
- 7) **Lakefront Interest Owned** – Total Interest, Partial Interest, Right of Way, Water Access Only.
- 8) **Multiple Parcels** – Residual Land.
- 9) **Dwellings** – Seasonal, Year Around (Actual and Potential).
- 10) **Real Estate Trends** - Current Values, Listings, Trends, Days on Market, List Price to Sales Price Ratios.
- 11) **Historical Value.**

# LAKE PLACID & SARANAC LAKE REAL ESTATE TRENDS

<b>SALES</b>	<b>Number of Sales</b>	<b>\$800,000 - \$999,999</b>	<b>\$1,000,000 - \$2,000,000</b>	<b>\$2,000,001 - \$5,000,000</b>	<b>\$5,000,001 &amp; Over</b>	
2008						
	17	7	7	2	1	
2013	8	5	2	1	0	
2014	12	7	3	2	0	
2015	6	1	3	2	0	
<b>LISTINGS</b>	<b>Number of Listings</b>	<b>Less Than \$500,000</b>	<b>\$500,001 - \$999,999</b>	<b>\$1,000,000 - \$2,000,000</b>	<b>\$2,000,001 - \$5,000,000</b>	<b>\$5,000,001 &amp; Over*</b>
	40	8	14	7	7	4
	* 1@ \$3,495,000					
	*1@ \$12,750,000					
	*1@ \$11,500,000					
	* 1@ \$5,750,000					

## County/Municipal Search Results

Sorted by: Swis Code (ASC)

Note: items marked in red indicate that the sale may not have been reviewed by the assessor.

Click on column Heading for Ascending Sort, or, go to [Advanced Sort Menu](#)

Click on a data value in the first column to see the Sale Detail report for a specific Sale.

Total records returned: 17  
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Swis Code	County	Municipality	Tax Map ID	Street Number	Street Name	Book	Page	Sale Date	Sale Price	Front	Depth	Total Acres	Number Of Parcels	Property Class On Roll
<a href="#">154001</a>	Essex	Lake Placid	42.0CJ-2-19.000/7		SARANAC AVE	1580	253	07/23/2008	\$830,000	0	0	0.01	1	210
<a href="#">154001</a>	Essex	Lake Placid	42.0DL-1-3.200/8		SWISS RD	1587	272	10/08/2008	\$875,000	0	0	0.01	1	210
<a href="#">154001</a>	Essex	Lake Placid	42.0em-3-11.000	86	WILDERNESS CIR	1586	309	09/22/2008	\$975,000	0	0	0.59	1	210
<a href="#">154089</a>	Essex	North Elba	33.018-4-3.000	91	LODGE WAY	1570	114	03/28/2008	\$1,250,000	0	0	0.59	1	210
<a href="#">154089</a>	Essex	North Elba	33.019-1-27.000	12	ROLAND WAY	1571	155	04/18/2008	\$5,800,000	0	0	1.57	1	210
<a href="#">154089</a>	Essex	North Elba	42.043-1-14.001	23	AUTUMN WAY	1578	207	07/01/2008	\$950,000	0	0	1.18	3	210
<a href="#">154089</a>	Essex	North Elba	33.014-1-3.000	92	BLODGETT WAY	1584	223	09/03/2008	\$3,000,000	0	0	1.90	1	260
<a href="#">154089</a>	Essex	North Elba	33.018-1-13.000	57	CAMP WAY	1585	244	09/08/2008	\$3,199,400	0	0	0.90	1	210
<a href="#">154089</a>	Essex	North Elba	33.018-7-2.000	13	HIGH PEAKS VIEW WAY	1593	110	11/14/2008	\$885,000	0	0	0.41	1	210
<a href="#">154089</a>	Essex	North Elba	50.002-1-24.000	8	THEIANGUEN WAY	1586	235	09/26/2008	\$1,320,000	0	0	8.53	1	210
<a href="#">154089</a>	Essex	North Elba	42.010-1-41.000	194	ALGONQUIN DR	1565	301	02/08/2008	\$950,000	0	0	0.76	1	210
<a href="#">154089</a>	Essex	North Elba	33.000-2-8.112	12	GEORGE & BLISS LN	1594	147	11/06/2008	\$2,000,000	0	0	2.04	1	280
<a href="#">154089</a>	Essex	North Elba	42.004-5-3.000		BEAR CUB LN	1588	133	10/08/2008	\$1,945,000	0	0	6.23	1	210
<a href="#">154089</a>	Essex	North Elba	42.034-2-7.100	400	MIRROR LAKE DR	1585	325	09/18/2008	\$1,600,000	0	0	0.72	1	210
<a href="#">164689</a>	Franklin	Harrietstown	457.-4-24.900	7	BRANCH FARM RD	970	228	01/29/2008	\$999,000	0	0	2.07	1	210
<a href="#">165200</a>	Franklin	Santa Clara	442.2-5-15.100		BACK BAY RD	986	11	09/24/2008	\$1,997,000	380	0	1.77	1	260
<a href="#">165200</a>	Franklin	Santa Clara	453.-2-19	112	MOSS ROCK RD	986	304	10/09/2008	\$1,199,400	0	0	1.35	1	260

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<a href="#">154001</a>	Essex	Lake Placid	42.0EM-2-7.002	21	GARDEN WAY	1741	240	08/02/2013	\$910,000	0	0	0.95	1	210
<a href="#">154001</a>	Essex	Lake Placid	42.0fk-4-3.000	30	HIGHLAND PL	1750	163	11/08/2013	\$900,000	0	0	0.40	1	210
<a href="#">154089</a>	Essex	North Elba	33.016-2-13.000	616	MOUNT WHITNEY WAY	1746	29	09/26/2013	\$3,400,000	0	0	1.96	2	280
<a href="#">154089</a>	Essex	North Elba	42.026-2-8.000	292	MIRROR LAKE DR	1730	136	04/05/2013	\$972,000	0	0	0.65	1	210
<a href="#">154089</a>	Essex	North Elba	42.010-1-32.000	140	ALGONQUIN DR	1742	79	07/25/2013	\$815,000	0	0	0.73	1	210
<a href="#">154089</a>	Essex	North Elba	42.004-4-8.000	2840	WILMINGTON RD	1743	296	08/30/2013	\$940,000	0	0	9.40	2	210
<a href="#">164689</a>	Franklin	Harrietstown	457.-2-1	532	LAKE	2013	2882	05/24/2013	\$1,350,000	0	0	1.75	1	210
<a href="#">165200</a>	Franklin	Santa Clara	443.1-4-2	15	DEERWOOD LN	2013	781	02/11/2013	\$1,300,000	200	0	1.82	1	210

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<a href="#">154089</a>	Essex	North Elba	33.72-6-8.000	154	LODGE WAY	1773	44	07/24/2014	\$998,500	0	0	0.04	1	210
<a href="#">154089</a>	Essex	North Elba	33.72-6-5.000	152	LODGE WAY	1776	270	09/02/2014	\$950,000	0	0	0.03	1	210
<a href="#">154089</a>	Essex	North Elba	33.072-3-5.000	363	WHITEFACE INN LN	17632	222	04/05/2014	\$1,900,000	0	0	0.26	1	210
<a href="#">154089</a>	Essex	North Elba	50.002-1-69.200	853	AVERYVILLE LN	1758	278	02/18/2014	\$2,900,000	0	0	105.41	1	240
<a href="#">154089</a>	Essex	North Elba	42.026-2-8.000	292	MIRROR LAKE DR	1756	86	01/09/2014	\$1,250,000	0	0	0.65	1	210
<a href="#">154089</a>	Essex	North Elba	33.008-1-2.000	12	GEORGE & BLISS LN	1756	11	01/06/2014	\$970,000	0	0	7.50	1	260
<a href="#">154089</a>	Essex	North Elba	33.14-2-14.000	12	OVERLOOK WAY	1783	151	10/28/2014	\$1,250,000	0	0	0.44	1	210
<a href="#">154089</a>	Essex	North Elba	52.1-1-8.100	78	AVALANCHE WAY	1776	298	08/29/2014	\$992,500	0	0	41.84	1	240
<a href="#">154089</a>	Essex	North Elba	33.019-1-12.000	26	POINT O VIEW WAY	1756	103	01/11/2014	\$2,870,000	0	0	7.20	1	280
<a href="#">164689</a>	Franklin	Harrietstown	468.-12-18	336	OSEETAH PARK RD	2014	3004	06/27/2014	\$899,999	0	0	0.72	1	210
<a href="#">164689</a>	Franklin	Harrietstown	457.-5-3	5	PINEHURST RD	2014	4421	09/10/2014	\$950,000	0	0	1.05	1	210
<a href="#">165200</a>	Franklin	Santa Clara	443.1-1-8		SAR INN	2014	2383	05/16/2014	\$960,000	362	0	2.00	1	210

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<a href="#">154001</a>	Essex	Lake Placid	42.158-9-12.000	92	HILLCREST AVE	1797	330	04/10/2015	\$860,000	0	0	1.00	1	210
<a href="#">154089</a>	Essex	North Elba	42.34-2-5.000	378	MIRROR LAKE DR	1793	217	02/23/2015	\$1,150,000	0	0	0.70	1	260
<a href="#">154089</a>	Essex	North Elba	50.2-1-67.000	667	AVERYVILLE LN	1806	1	07/10/2015	\$1,160,000	0	0	22.00	1	240
<a href="#">154089</a>	Essex	North Elba	42.6-3-9.310/1		WHITEFACE INN LN	1790	90	01/08/2015	\$2,407,200	0	0	0.00	1	210
<a href="#">154089</a>	Essex	North Elba	42.1-3-10.000	571	OLD MILITARY RD	1795	157	03/13/2015	\$1,700,000	0	0	35.89	2	240
<a href="#">165200</a>	Franklin	Santa Clara	443.1-4-3	19	DEERWOOD LN	2015	1515	04/09/2015	\$4,200,000	400	0	3.33	1	280

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## Adirondack Land & Acreage for Sale

For over 40 years, we've been a leader in offering prime real estate and land for sale in the Adirondacks. Whether you're looking to build on private, secluded land in the remote Adirondack wilderness, amid safe and friendly residential neighborhoods in the region's towns and villages, or envision your dream vacation home lakeside, our realtors are here to share their knowledge and expertise as you search for the prime spot of land to build your Adirondack home on.

### What Sets Land Apart in the Adirondacks

From 360° views overlooking the towering Adirondack 46 High Peaks, to waterfront land for sale with immediate access to boating, fishing, canoeing and kayaking, buying land in the Adirondacks comes with perks and features only found in the six-million-acre Adirondack Park.

Find private land in the woods for a tranquil setting with immediate access to trail systems. Imagine your ideal vacation home within minutes of outdoor recreation and the area's top attractions, including the two-time Winter Olympic village of Lake Placid, and discover the many possibilities our variety of land and acreage for sale can offer you and your family.

Check out our available land for sale below or head over to view all of our [current listings](#).



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## Adirondack Waterfront Properties

Ranked #1 in waterfront sales in 2014, Merrill L. Thomas boasts one of the largest selections of Adirondack lakefront properties and real estate in the Adirondack Park. Our waterfront properties are located on the region's most majestic Adirondack lakes and bodies of water around Lake Placid, Upper Saranac Lake and the St. Regis Lakes. Merrill L. Thomas offers an exclusive selection of real estate in desirable locations – from your own island getaway with a private beach and expansive mountain views, to pristine Adirondack [land for sale](#) – find your own Adirondack paradise and live like you're on vacation every day.

Merrill L. Thomas offers a variety of unique, upscale and one-of-a-kind Adirondack [homes for sale](#), including sprawling Adirondack Great Camp-style lodges and luxury cottages. Find the perfect place to live, play and relax with Merrill L. Thomas Inc.'s Adirondack waterfront properties and real estate.

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## Bartlett Road Lodge

Very private and secluded, Bartlett Road Lodge is situated on 5 acres and boasts terrific views of Giant Mountain!! 4 bedrooms, 3 1/2 baths, radiant in-floor heat, granite fireplace, hand-carved...

MLS #149680 | Listed at \$475,000



## Camp Okarie

The year round home is located on 11 acres with beautiful boardwalks that meander through out this adirondack preserve and lead directly to the river. Enjoy fishing and kayaking on the saranac river. Located...

MLS #149275 | Listed at \$299,000



## Camp Vivian

A very unique opportunity to own a classic great mini camp, circa 1910, located on Hogback Island which is located on Rainbow Lake. There is 200' of waterfront on the east, west and mainland shore. This...

MLS #152110 | Listed at \$399,000



## Oseetah Lodge

Stunning views from this alluring 4BR/4 bath Alpine Log home. One acre site with 220 feet of Oseetah Lake shoreline. Impressive 3500 SF floor plan offers in-floor radiant heat, floor-to-ceiling stone fireplace...

MLS #152898 | Listed at \$995,000





### Deeded Access on Upper Saranac Lake

Ideal location close to the Saranac Inn Golf Course and the pond area - offering miles of undisturbed wilderness and paddling. Deeded dock & access on Upper Saranac Lake. Home offers 4...

MLS #15393 | Listed at \$695,000



### Camp Y Knott

Camp-Y-Knott on the shores of Upper Saranac Lake offers a blend of contemporary design with rustic Adirondack charm. Lakeside life at it's best with 228ft of sandy beach shoreline, picturesque lake &...

MLS #151355 | Listed at \$995,000



### Panoramic Bliss at BEAVER CREEK

JUST REDUCED! Panoramic bliss at BEAVER CREEK. Scenic landscape with striking and commanding mountain views. Highlights for this 4 bedroom, 2 full bath vacation setting include 30 level and private acres...

MLS #151678 | Listed at \$339,000



### Cove Retreat on Rainbow Lake

Cove Retreat built in 1910, is an original Adirondack Camp nestled along the secluded shores of Rainbow Lake with 940 ft. of waterfront and 5.3 acres of wooded forest. This property includes a 3 bedroom 1.5...

MLS #150182 | Listed at \$1,150,000



### Hillside Loj

Hillside Loj perfectly sited at the Whiteface Club Resort with beautiful views of Lake Placid lake and Whiteface Mountain. This townhouse property expresses an authentic Adirondack charm with 4...

MLS #151869 | Listed at \$1,485,000



### Camp Piney Nook

Camp Piney Nook, surrounded on three sides by NYS forever wild forest, is nestled along the pristine western shore of Lake Placid. This rustic 2-story Adirondack Lodge features 3 bedrooms and 2 baths, open...

MLS #150833 | Listed at \$1,699,000



### Historic Pine Point Camp on Upper Saranac Lake

Landmark waterfront property originally the summer home of Emma Bucknell of Bucknell University Heritage. Today it is a 1.7 acre parcel with towering white pines and 406' of shoreline. Circa 1890's 2 story...

MLS #149532 | Listed at \$1,285,000



### Placid Bay

Placid Bay is located directly on beautiful Lake Placid lake with exceptional water views and spectacular views of Whiteface Mountain. This residential/commercially zoned property includes multiple buildings...

MLS #154273 | Listed at \$1,899,000





## Far Horizons Ranch

One of Lake Placid's hidden treasures, Far Horizons Ranch is an unspoiled landscape of immense beauty offering seclusion, majestic mountain vistas, authentic Great Camp Architecture and over 600 acres of...

MLS #153141 | Listed at \$6,995,000



## Bungalow Bay Camp

Bungalow Bay Camp is a hidden gem on Upper Saranac Lake on 4.5 acres with 124ft of waterfront with exceptional potential. A long private drive leads to a year round Vermont Style Log home with 4 bedrooms and 2...

MLS #151487 | Listed at \$625,000



## French Brook Preserve

Frenchs Brook Preserve is an exceptional one-of-a-kind Adirondack sanctuary offering 610 acres with over 4,500 feet of river frontage on Frenchs Brook, 15 acre pond, open meadows and mature forest planted...

MLS #152846 | Listed at \$1,650,000



## WHITEFACE CLUB & RESORT Luxury in Lake Placid

Luxurious Adirondack-style home in Lake Placid - Whiteface Club & Resort original 'flagship' custom home. Generous, handsome living space with all of the modern conveniences, this 5 bedroom, 4 full and 2...

MLS #148110 | Listed at \$2,350,000



### LAKESIDE 3 BR CONDO. at the Whiteface Club & Resort

RARE opportunity to own a TOP level Lakeside Condominium #22 at the Whiteface Club & Resort. Boasting magnificent views of Lake Placid lake and surrounding mountains, this walk-in main level, 3 bedroom/2...

MLS #151760 | Listed at \$850,000



### Silver Lake Lot - Ready to Build

APA approved building lot with engineered septic system in place. Lot is ready for clearing for your new waterfront home. Building envelope has been defined with 100' building setback from mean...

MLS #152586 | Listed at \$189,000



### Cold Brook Loj

Tucked away just outside Lake Placid village limits sits this lovely log cabin right along the riverbed of the cold brook the outlet waterway for Lake Placid lake. Relaxing and peaceful atmosphere with the...

MLS #154275 | Listed at \$465,000



### Intervale Ranch

The 10+ acre property has a beautiful open meadow and nearly 2,000 feet of frontage on the Ausable River. The 2300 square foot cottage style home with field stone fireplace boasts majestic views of the High...

Listed at \$799,000





## Camp Big Rock on Upper Saranac Lake

BIG ROCK ON UPPER SARANAC LAKE... ARCHITECTURAL DIGEST COVER HOME. Boasting the Adirondack's best view and secluded beach, Camp Big Rock is a private hideaway for those who seek the finest...

MLS #153772 | Listed at \$12,750,000



## Camp Vail

adirondack style Camp Vail is located on the Whiteface Club Resort Golf Course in Lake Placid. 4,300 sq. ft. of rustic elegance with 4 bedrooms, 6 baths, Chef's kitchen with granite counters and stainless...

MLS #154028 | Listed at \$1,495,000



## HILLSIDE PENTHOUSE

We are proud to offer this professionally decorated luxury penthouse with classic views of Whiteface Mountain and Lake Placid. The residence is 4800 + SF with 2 floors, 5 bedrooms all en-suite. The large...

MLS #152929 | Listed at \$1,395,000



## 9 Cimarron Trail - River Bend Town Homes

Built by one of the area's premier builders, River Bend Town Homes boasts solid construction incorporating the finest materials & craftsmanship coupled with energy efficiency: radiant in-floor heat, Hand...

MLS #151391 | Listed at \$489,000



## The Portage

Located at the site of the former Portage Hotel sits this 5 bedroom, 3.5 bath home. Idyllic setting overlooking pristine Lake Clear. 283ft of sandy shoreline and 35+/- wooded acres providing access...

MLS #152739 | Listed at \$875,000



## Oseetah Woods

Enjoy the beautiful park setting of Oseetah Woods. Parcel #3 offers 2.9 acres and approx 250ft of shoreline with sandy bottom. Borders hundreds of acres of well kept hiking trails. Abundance of wildlife...

MLS #150005 | Listed at \$275,000



## Lake Flower Classic

Lovingly restored classic Saranac Lake home on the shores of Lake Flower, the first lake in a chain of lakes extending over 25 miles. Enjoy the stunning lake and mountain views from inside the home or on...

MLS #152842 | Listed at \$299,000



## Loon Lake Retreat

Located along the shore of Loon Lake, this charming chalet offers spectacular lake and mountain views. Lounge lake-side on the expansive deck just steps from the waterfront with 155ft of private sandy...

MLS #146340 | Listed at \$399,900





## Ausable River Fishing Tract

This special 44 acre parcel is located along the West Branch in Wilmington. APA approval to build with Whiteface Mt views. There is some 3300 ft. of river frontage. The parcel is unique in that about 1/3...

MLS #139341 | Listed at \$239,000



## Kiawassa Cove

Kiawassa Cove is a custom built waterfront home on Kiawassa Lake with amazing views & a very peaceful and private lakefront setting. Built in 2006, this home has a many wonderful features and welcoming floor...

MLS #144037 | Listed at \$1,695,000



## Stickney Point

Come and enjoy the peaceful setting at Stickney Point. 155 acres of reserved "open space" maximizes privacy, wildlife habitat and recreational enjoyment. Homesites ranging...

MLS #130600 | Listed at \$185,000



## Camp Happy Hour

This is a very appealing boat access camp located directly at the water's edge with unencumbered views of the west shore of Moose Island and the High Peaks Southern Range. A...

MLS #148528 | Listed at \$795,000



## MOSS LEDGE

Circa 1898 Adirondack Great Camp design by renowned architect William L. Coulter for Miss Isabel Ballantine, daughter of the New Jersey beer baron John Holme Ballantine. Moss Ledge is comprised of...

MLS #152230 | Listed at \$2,550,000



## Loon Lake Hideaway

Enjoy the privacy of the woods, with deeded HOA shared beach, boat launch and dock on beautiful Loon Lake, a private Adirondack lake with no public access. This well maintained Adirondack Chalet is bright and...

MLS #152956 | Listed at \$199,000



## Wilmington Farmhouse

Lovely farmhouse style home with 430 feet of waterfront above the beautiful Ausable River. Only 4 miles to Whiteface Mountain, with seasonal views of the slopes! Enjoy over 2 acres of lawn and wooded...

MLS #153470 | Listed at \$249,900



## The Day Point Estate

This classic family compound on Lake Champlain has 7.8 acres of stunningly landscaped grounds with commanding, panoramic lake and Valcour Island Lighthouse views. Built as a Lake Champlain Great Camp in the '...

MLS #152848 | Listed at \$1,575,000





## Marcy Cottage/7 Harbor Hill Lane

This charming two bedroom cottage features a magnificent stone fireplace in the living room, stone patio overlooking the lake with hot tub, granite countertop in kitchen, and full bath. Situated directly on...

MLS #154007 | Listed at \$329,900



## Noonmark Cottage/5 Harbor Hill Lane

This charming one bedroom lakefront cottage sits directly on Lake Flower, entry lake to Saranac Chain of lakes. One bedroom, one bath, kitchen, living room, dining area, outdoor deck overlooking the...

MLS #153249 | Listed at \$289,000



## Harbor Haven

Classic adirondack style home on the water's edge of Lake Flower in Saranac Lake featuring newly remodeled kitchen, hardwood floors, knotty pine interior, 4/5 bedrooms, 3 baths, two fireplaces, outdoor hot tub...

MLS #153839 | Listed at \$595,000



## Skylight Cottage, 6 Harbor Hill Lane, Saranac Lake

Charming Adirondack style cottage directly on shore of Lake Flower features knotty pine interior, one bedroom on ground floor and loft bedroom. Fully winterized for year-round use. Homeowners association...

MLS #153252 | Listed at \$299,900



### Brookhill Views

Panoramic views of Whiteface Mountain and Lake Placid lake from this highly desirable 3 bedroom (easily convertible to 4 or even 5 bedrooms), Brookhill condominium with shared lake frontage. Spacious 1980...

MLS #151372 | Listed at \$695,000



### Chateaugay lake house

Year round, custom designed and built, Adirondack style post and beam home on crystal clear Upper Chateaugay Lake. Upper Chateaugay Lake is a jewel in the Adirondacks and this magnificent property offers...

MLS #152363 | Listed at \$499,000



### Kiwassa Lake Waterfront Camp

Well maintained and very comfortable seasonal cabin on 4.52 acres with a spectacular 189 feet of waterfront on beautiful Kiwassa Lake. Sandy beach area for the kids as well as boat dock. Stunning views of...

MLS #151940 | Listed at \$449,000



### OSEETAH PARK

A unique opportunity to own year round access on Oseetah Lake. Impressive views of the south range and Amerpsand MT. Property is comprised of 1.76 wooded acres and 400ft of shoreline with...

MLS #152283 | Listed at \$850,000





## Pine Cottage-Keene

Immaculate Adirondack camp with 198 feet of spectacular waterfront on the scenic Ausable River. Home tastefully remodeled to perfection in 2012. Clean, and easily maintained, this is the perfect Adirondack...

MLS #147682 | Listed at \$199,500



## Camp Theanogran

Camp Theanogran, built as a summer residence in 1896, has retained it's original character and beauty. The property offers stunning views of the Great Range and the Forever Wild shoreline of Buck Island....

MLS #149692 | Listed at \$3,495,000



## Edge of the Lake Unit F

Overlooking Paradox Bay on Lake Placid this beautifully appointed 3 bedroom condominium offers luxury and convenience out your front and back door. High end finishes compliment the open floor plan design...

MLS #149551 | Listed at \$779,000



## Shade Tree Farm

Rolling 19 acre vacant parcel along the East Branch of the Ausable River with Jay Mountain Views and open meadow. Ideal for small farm or single family residence with large barn for horses, livestock or...

MLS #149316 | Listed at \$124,900



### Lake Placid Comfort Inn Hotel with 10+ acre residential development site.

Premier Lake Placid waterfront hotel with 10+ acre residential development site located on the main western entryway coming into lake Placid. The Comfort Inn includes 74,862 sq. ft. of commercial space with 92...

MLS #145358 | Listed at \$11,750,000



### Camp Wildwood

Camp Wildwood is a classic Adirondack camp compound which includes a Michael Bird designed 4 bedroom 4 bath main lodge, 2 rustic sleeping cottages, a game cottage, a reading cottage, a single stall boathouse...

MLS #152139 | Listed at \$1,450,000



### Camp Mozokik

Camp Mozokik located on Upper Saranac lake, has commanding lake and mountain views with 150 ft. of sandy shoreline. Features include 3 bedrooms, 2 baths, living room with brick fireplace, hickory hardwood...

MLS #151219 | Listed at \$899,000



### Camp Irondequoit

Rustic Adirondack camp with two sleeping cabins and 3-slip, 2-story boathouse with great room, stone fireplace and bathroom. Very private, yet short walk to village. Updated kitchen. Expansive lake...

MLS #152730 | Listed at \$3,950,000

## DATE: Rev. 3/1/08



LAND TYPE CODE DEFINITIONS

- 01 - Primary\* – This describes the main building site for improved or vacant parcels, unless they are waterfront. Improvements to the land such as water, sewer, and utilities are available. There should only be one primary land type per site, but you may have more than one primary land type per parcel. Primary site should not exceed the local zoning if any. Where there is no zoning, primary lots should not exceed five acres. Primary land types with significant water frontage should be coded as Land Type 10 – Waterfront.
- 02 - Secondary\* – This describes land which lacks some of the amenities of the primary land type, such as road frontage or a separate water supply, which results in less value. A secondary land type can not be recorded unless you have described a primary land type for the parcel.
- \*NOTE: A primary land type will differ from a secondary land type in that a primary land type has road frontage and is separately marketable. A secondary land type usually does not have road frontage and is difficult to market separately.
- 03 - Undeveloped - This describes land which is presently vacant but which is a potential primary site and usually has road frontage. Water, sewer, and other utilities may not be available on site. (Filed subdivisions may or may not have constructed roads.) This is land which is located in areas where development is taking place and further development of vacant parcels is probable. Undeveloped lots should not be less than the local zoning lot size.
- 04 - Residual - On improved parcels this describes land in excess of the primary land type (usually base lot size). On vacant parcels this describes land which has little or no potential for immediate development. The land occupied by farm buildings (exclusive of the homesite) is best described as residual.
- 05 - Tillable - This describes farm land other than muck, vineyard, or orchard which is suitable for the cultivation of farm crops. Improved or seeded pasture is considered tillable land and is to be recorded as land type 05. This land type should be used only if the land is being utilized as part of a farm operation. If this code is used, a corresponding entry must be made in Soil Rating.



- 06 - Pasture - This describes agricultural land not suitable topographically for row cropping. It is open, or very sparsely treed or shrubbed, and is not usable as tillable land. The land may be used for open grazing and exercising of cattle. If this code is used, a corresponding entry must be made in Soil Rating.
- 07 - Woodland - This describes areas of trees with or without marketable timber. This land type is typically used only for properties in the 100 and 900 series but may be used for wooded acreage on sites described as 240 or in the 320 property class series. If this code is used, a corresponding entry should be made in Soil Rating.
- 08 - Wasteland - This describes land areas of little or no economic value such as swamps, ravines, flood land, etc. It would be very costly and impractical or impossible to improve the land to the point where it could be utilized.
- 09 - Muck - This land type describes highly organic land of dark color and low mineral content. Muck is used to produce potatoes, onions, and truck garden crops such as lettuce, celery, radishes, etc. Muck is found only in certain areas of the state and this land type is to be used only if the site being described is recorded with a property class in the 100 or farm series. Generally a site must have the specialized property class of 130, truck crops to have land type 09 described. If this code is used, a corresponding entry must be made in Soil Rating.
- 10 - Waterfront - This describes land with any significant water frontage. When the waterfront land type is used, an entry should also be made in Waterfront Type. A site may have more than one waterfront breakdown described if water frontage exists on more than one water type. Land type 10 must be recorded if the site property class is 313. The dimensions for this land type must be recorded as water front feet x depth.
- 11 - Orchard - This describes land planted with fruit-bearing trees such as apples, pears, cherries, etc. This land type is to be used for farm properties and must be used if the site property class is 151. If this code is used, a corresponding entry must be made in Soil Rating.
- 12 - Rear - This describes vacant land presently without access to a public road, e.g., land-locked parcels.

- 13 - Vineyard - This describes land planted with grapevines. This land type may be used only if the site being described is in the farm series and it must be used if the site property class is 152. If this code is used, a corresponding entry must be made in Soil Rating.
- 14 - Wetland - This describes land which has been designated and identified by the Department of Environmental Conservation as being under restrictions and protected as wetland. This code is to be used only if the land is positively identified and positive certification is available and verified. Do not use this for swampland.
- 15 - Leased Land - This entry should be used when there is a building or other improvement which has no associated land. This should not be used to describe land which is leased in order to increase the productivity of a farm. An example would be a leased warehouse on railroad property.

7.2# FRONT FEET\*

This item is used to record the actual amount of front footage of the land breakdown entry for square or rectangular shaped lots and the effective front feet on irregularly shaped lots. An entry in this field also requires an entry in Depth. The entry should be to the nearest foot and should be right justified.

7.3# DEPTH\*

This item is used to record the actual depth of the land breakdown entry for square or rectangular shaped lots. An entry in Depth also requires an entry in Front Feet. The entry should be to the nearest foot and should be right justified. Irregular lots are usually measured in acres or square feet.

7.4# ACRES\*

This item is used to record the number of acres, to the nearest hundredth of an acre (such as 1.00), of the land breakdown entry. One acre is 43,560 square feet. Acres are most often used for larger land areas. The entry should be right justified.

7.5# SQUARE FEET\*

This item is used to record the number of square feet of the land breakdown entry. The entry should be to the nearest square foot and should be right justified.

**\*NOTE:** The size of each land breakdown should be recorded as:  
Front Feet and Depth - or - Acres - or - Square Feet.



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- 11 - Orchard - This describes land planted with fruit-bearing trees such as apples, pears, cherries, etc. This land type is to be used for farm properties and must be used if the site property class is 151. If this code is used, a corresponding entry must be made in Soil Rating.
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**\*NOTE:** The size of each land breakdown should be recorded as:  
Front Feet and Depth - or - Acres - or - Square Feet.



WOODLAND

Farm woodland with the following attributes: 1) has land of two acres or more used primarily for the production of marketable woodland products (e.g., logs, lumber, posts, firewood, and maple syrup) and 2) has a forest growth of suitable character and distribution to give assurance that a stand of merchantable timber will be developed within a reasonable period of time, has been divided into three classes. Woodland which is comprised mainly of non-marketable timber is in a fourth class. Woodland classes are established according to the following criteria:

SOIL RATING CODECLASS CHARACTERISTIC

1	Heavy saw timber of more than 10,000 board feet per acre.
2	Heavy poles, light or medium saw timber of 2,000 to 10,000 board feet per acre.
3	Seedlings, saplings, or light poles of up to 2,000 board feet per acre.
4	Non-marketable timber and/or products.

7.7# WATERFRONT TYPE

This item is used to define the body of water on which the property has frontage. This should be entered if Land Type = 10, Waterfront.

WATERFRONT TYPE CODES

- 1 - Pond
- 2 - River
- 3 - Lake
- 4 - Canal
- 5 - Ocean
- 6 - Bay

WATERFRONT TYPE CODE DEFINITIONS

- 1 - Pond - This is primarily for residential property which has frontage on a pond which would enhance the property value.
- 2 - River - The property has frontage on a river or large stream.

3 - Lake - The property has frontage on a lake.

4 - Canal - The property has frontage on a canal.

5 - Ocean - The property has frontage on the ocean.

6 - Bay - The property has frontage on a bay or inlet.

#### 7.8 DEPTH FACTOR

A factor which represents the comparative value of a given depth of a lot with respect to the value of a lot having an accepted standard depth. This item can have positive or negative effect on value, and is usually assigned during field review, unless a jurisdiction already has Land Depth Tables to use. Use of this item is not mandatory.

#### 7.9# INFLUENCE PERCENT

This item will be recorded simultaneously with Influence Code(s), usually during field review. It indicates the percentage to account for the factor described by the influence code. A value loss of 10 percent would be entered as .90 and a value gain of 10 percent would be entered as 1.10. When multiplied by the unit value of the land, this will yield the desired percentage of value. Up to three separate Influence Codes can be used to formulate the Influence Percent.

#### 7.10 # INFLUENCE CODE

This item is usually assigned during field review\* and indicates that the base land value will be affected by one of the following codes. If this item is used, a corresponding entry must be made in Influence Percent. The Data Collection Card provides space for up to three separate Influence Codes per Land Type.

**\*ORPS ONLY:** The ORPS data collector should assign this item during data collection. Use this item sparingly – only if there is an obvious influence on value.

**INFLUENCE CODES**

- 1 - Topography
- 2 - Location
- 3 - Shape
- 4 - Restricted Use
- 5 - View
- 6 - Wetness
- 7 - Environmental Impact
- 8 - Other

**INFLUENCE CODE DEFINITIONS**

- 1 - Topography - This refers to the contour of the land. It is only used to indicate a value loss attributable to physical land conditions such as unacceptable grade level (steep incline) or poor accessibility.  
Influence Factor - Negative.
- 2 - Location - This indicates a value change attributable to the parcel's specific location as compared to other parcels in the neighborhood. Typically this could be a street in a neighborhood that is considerably superior or inferior to the other streets in the neighborhood.  
Influence Factor - Negative or Positive.
- 3 - Shape - This refers to the configuration of the perimeter lot lines as described in the deed. It is only used to indicate a value loss attributable to an irregular shape that would reduce the utility of the parcel.  
Influence Factor - Negative
- 4 - Restricted Use - This indicates a value loss to the parcel due to local law or a private agreement restricting the use of the parcel which is binding on present and future owners.  
Influence Factor - Negative.



Some typical restrictions may be found as follows:

- a) Easements - Right-of-way, sewer, water, gas, or electric distribution lines.
  - b) Zoning - Restricted use or development of a parcel by type of improvement (such as single family homes only) or by minimum lot size (frontage and/or depth, square foot area, or acreage).
  - c) Open space or scenic - Greenbelt or open space laws prohibiting land from being developed with improvements.
- 5 - View - This indicates that the view afforded to a particular site would affect the value of the property. This influence could be negative as caused by an unattractive view of a junk yard, or it could be positive as caused by the outlook from the property overlooking a body of water or scenic valley.  
Influence Factor - Negative or Positive.
- 6 - Wetness - This indicates a value loss attributable to excessive water caused by poor drainage or a high water table. This influence code should not be confused with or used in conjunction with Land Type 14 - "Wetland".  
Influence Factor - Negative.
- 7 - Environmental Impact – The detrimental effects of chemical, radiation, noise, and other adverse contaminants on the environment.
- 8 - Other - Locally Defined.

# **FindLotSize.com**

## **Find Size of a Home Lot or Plat of Land**

FindLotSize.com provides a map measurement tool as well as a quality street view (if available) of the property. All services provided by FindLotSize.com are free and registration is not needed.

FindLotSize.com also works on your iPhone or Android cellphone. To use enter [www.findlotsize.com](http://www.findlotsize.com) into your cellphone browser.

To begin please enter the house address or place of interest in the address box below.

New York State Office of Real Property Services	<b>ASSESSOR'S MANUAL</b>  Data Collection and Maintenance of Property Inventories - RFV	SECTION 8.00	PAGE 1.00
		DATE 3/01/08	

## RFV – RESIDENTIAL BUILDING

### 8. RESIDENTIAL BUILDING SECTION

This section of the card will be used to record the pertinent information, which must be collected to describe the residential structure.

#### Example of data card Residential Building Section

RESIDENTIAL BUILDING SECTION			
<b>Building Style</b> 01-Ranch      07-Mansion      13-Bungalow 02-Raised Ranch      08-Old Style      14-Other 03-Split Level      09-Cottage      15-Town House 04-Cape Cod      10-Rock      16-Farm 05-Colonial      11-Log Home      17-Mixed Housing 06-Contemporary      12-Duplex			
No. of Stories			
<b>Ext. Wall Mat</b> 01-Wood      04-Composition      06-Stucco 02-Brick      05-Concrete      07-Stone 03-Aluminum/Vinyl      08-Synthetic			
Actual Yr. Built			
Effective Yr. Built			
Yr. Remodeled			
No. Kitchens			
Kitchen Qual    1-Poor    3-Normal    5-Excellent 2-Fair    4-Good			
No. Full Baths		No. Half Baths	
Bath Qual    1-Poor    3-Normal    5-Excellent 2-Fair    4-Good			
No. Bedrooms			
No. Rooms			
No. Fireplaces			
Heat Type    1-No Central    3-Hot Water/Steam 2-Hot Air                    4-Electric			
Fuel Type    1-None    3-Elec    5-Wood    7-Coal 2-Gas    4-Oil    6-Solar    8-Geo			
Central Air    Blank=No                    1=Yes			
Basement Type    1-Pier/Glab    2-Crawl    3-Finished    4-Full			
Basement Garage Capacity			
Overall Cond    1-Poor    3-Normal    5-Excellent 2-Fair    4-Good			
Exterior Cond    1-Poor    3-Normal    5-Excellent 2-Fair    4-Good			
Interior Cond    1-Poor    3-Normal    5-Excellent 2-Fair    4-Good			
Constr. Grade    A-Excellent    C-Average    E-Min B-Good                    D-Economy			
Grade Adjust			
Pct. Goods			



**8.1# BUILDING STYLE**

This item is used to classify the residence as to architectural style. There are 17 specific styles defined. Additionally, Code 14 - Other Style, allows for the description of a building style which does not conform to one of the 17 specific styles. When entering the building style code, be sure to enter both characters (e.g., enter "01" - Ranch, do not enter "1").

**BUILDING STYLE CODES**

- 01 - Ranch
- 02 - Raised Ranch
- 03 - Split Level
- 04 - Cape Cod
- 05 - Colonial
- 06 - Contemporary
- 07 - Mansion
- 08 - Old Style
- 09 - Cottage
- 10 - Row
- 11 - Log Home
- 12 - Duplex
- 13 - Bungalow
- 14 - Other
- 15 - Town House
- 16 - A-Frame
- 17 - Manufactured Housing

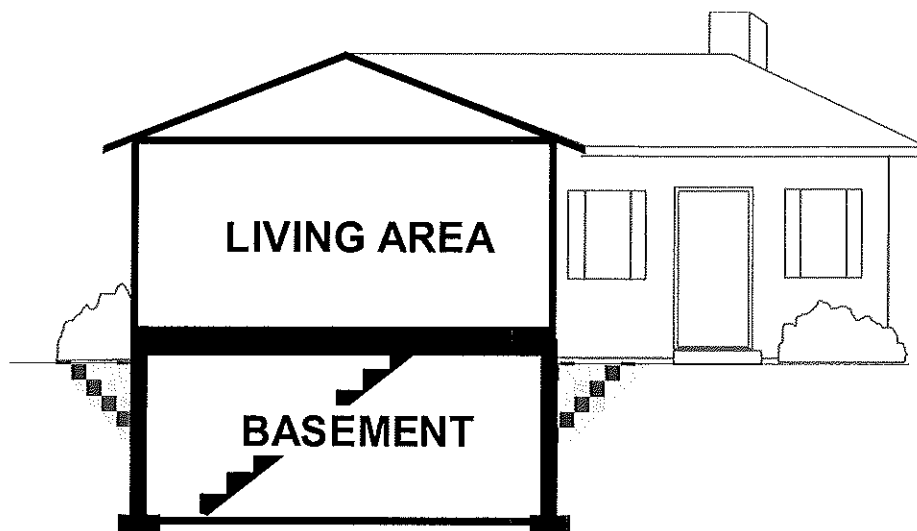
**BUILDING STYLE DEFINITIONS**

On the following pages you will find a definition for each of the building style codes. Along with the definition you will find a typical floor plan diagram of the building style. Following the diagram, a photographic sample of the style is provided. The floor plan diagram does not usually depict the same structure as the photograph, but both provide guidelines in selecting the appropriate building style.

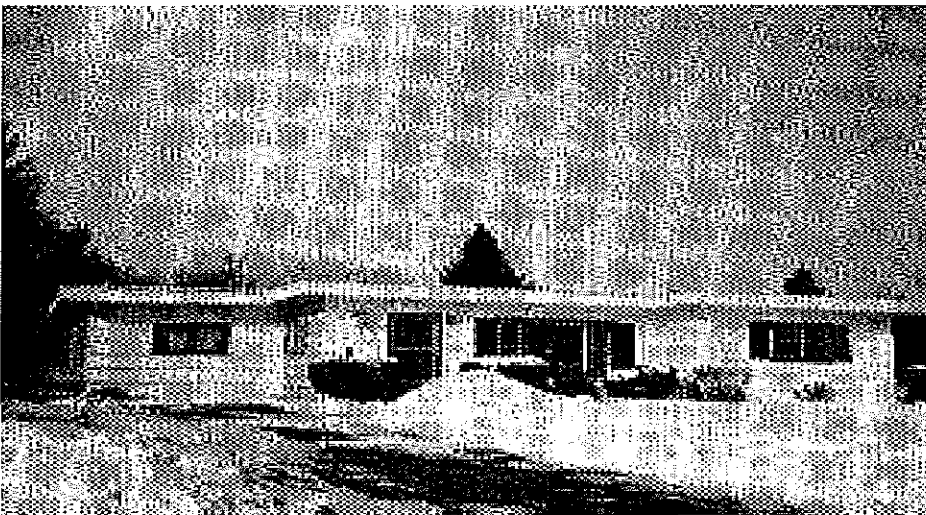
Following the individual building style definitions is a chart of General Building Style Characteristics. This may be helpful in determining building style as well as other data characteristics defined later in this section.

Building Style 01 - Ranch

The typical Ranch is a single story structure. There are usually three bedrooms, a kitchen, 1 or 1½ baths, and a living room. There are many variations to the standard ranch. The most common are the Rambler and the L-shaped Ranch. The roof line on this style is usually a low angle gable, a hip style roof, or a flat roof. A prefabricated, modular dwelling built before 1970 should be collected using this building style with a construction grade of Grade "D" - Economy.



Building Style 01 - Ranch

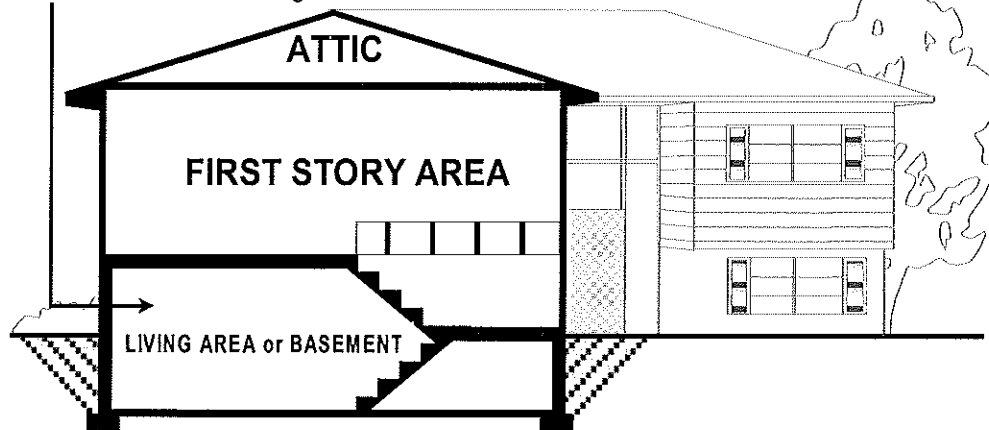




**Building Style 02 - Raised Ranch**

The Raised Ranch is similar in appearance to the normal Ranch. It is considered to be a 1 story dwelling and usually has three bedrooms, a kitchen, 1 or 1½ baths, and a living room in the first story area of the residence. The major differences between this style and the normal Ranch style is that the basement walls are usually elevated four feet or more above ground level with full-sized windows, and the basement level is used as living area which is usually finished similarly to the main level. This area is recorded as Finished Basement which is valid only for the Raised Ranch and the Split Level Building Styles. Also, it usually includes a basement garage. This building style is commonly referred to as a Bi-Level, High Ranch, Split Entry, or Split Foyer.

In most areas, when finished and heated, this is considered Living Area.

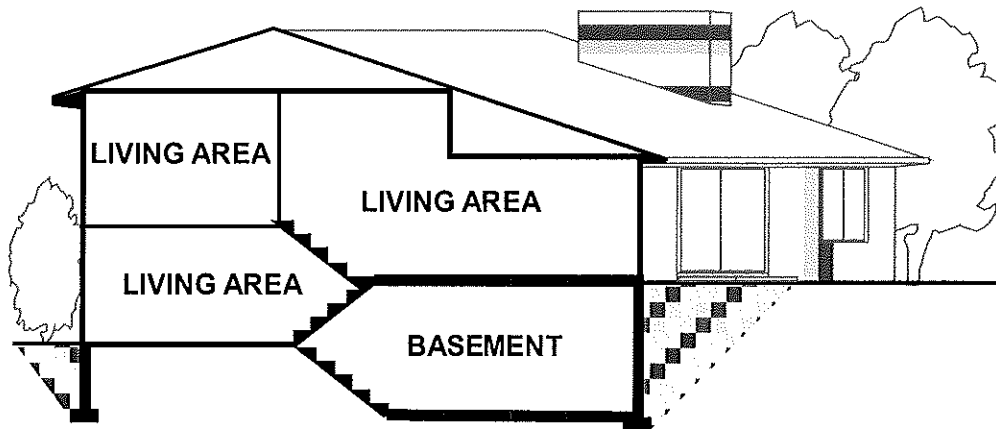


Building Style 02 - Raised Ranch



Building Style 03 - Split Level

The Split Level building style is similar to the Raised Ranch in that it utilizes space in the basement as living area. This area is recorded as Finished Basement which is valid only for the Raised Ranch and the Split Level Building Styles. It normally has living area on 3 or more levels. The story height of a Split Level residence is typically 1 story with an occasional 1½ or 2 story. It frequently has a basement garage with living quarters above it. Kitchen and dining areas are usually a half level above the garage and a half level below the bedrooms and bath. Usually the levels are side by side but they can also be front to back. These levels are accessed by a half flight of stairs as opposed to the full flight found in most other styles.



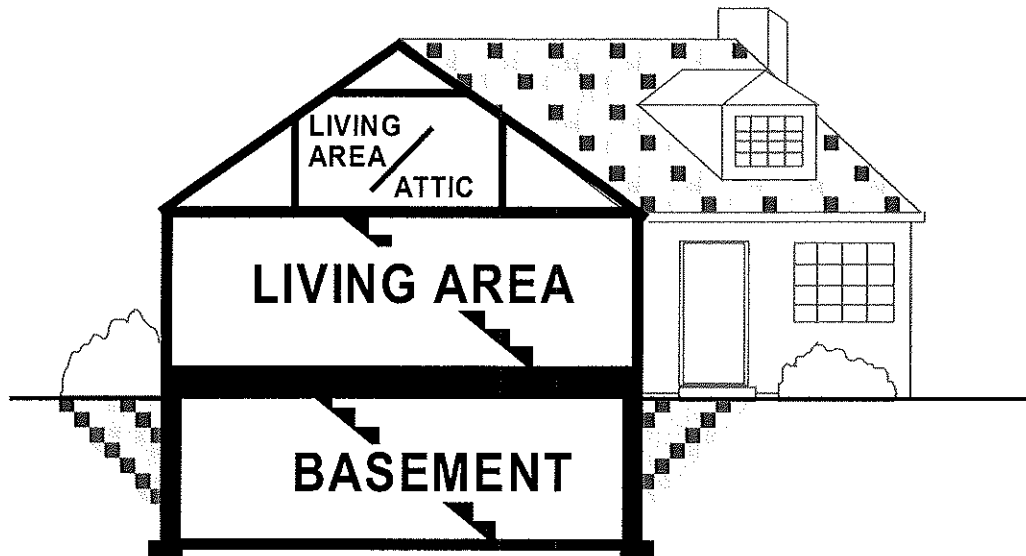


Building Style 03 - Split Level



Building Style 04 - Cape Cod

The Cape Cod is typically a 1½ story dwelling with a high-pitched roof and dormers allowing for the half-story finished area. It usually has a full basement. Principal rooms such as the kitchen, living room, bath, and two bedrooms are found on the first floor. Additional living area, usually bedrooms, will be found in the upper area. A full shed dormer increases the story area to a 1¾ story dwelling.



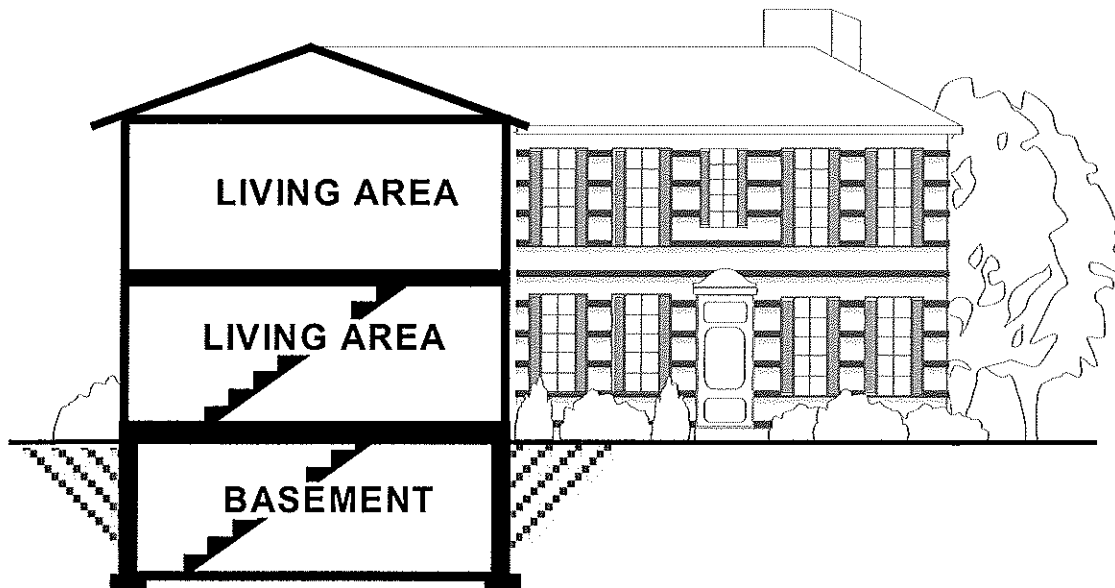
Building Style 04 - Cape Cod





Building Style 05 - Colonial

There are many variations to the Colonial style residence. It is a style which has transcended time and has changed to meet the needs of the marketplace. The Garrison Colonial, New England Colonial, Dutch Colonial, Salt Box, Southern, and Modern Colonials are just a few of the various Colonial styles. These varied styles range anywhere from 2 to 2½ stories with an occasional 1½ story. The only similarities between the varied styles are a balanced floor plan, a symmetrical exterior appearance, shuttered windows, a central or offset entrance, and normally a gable roof style. In some instances, like the Dutch Colonial, the roof is a Gambrel style. Newer versions of the Colonial are usually 2 story with a covered front porch, attached garage, and a family room situated behind the garage. The second floor living area frequently extends over all or part of the garage.

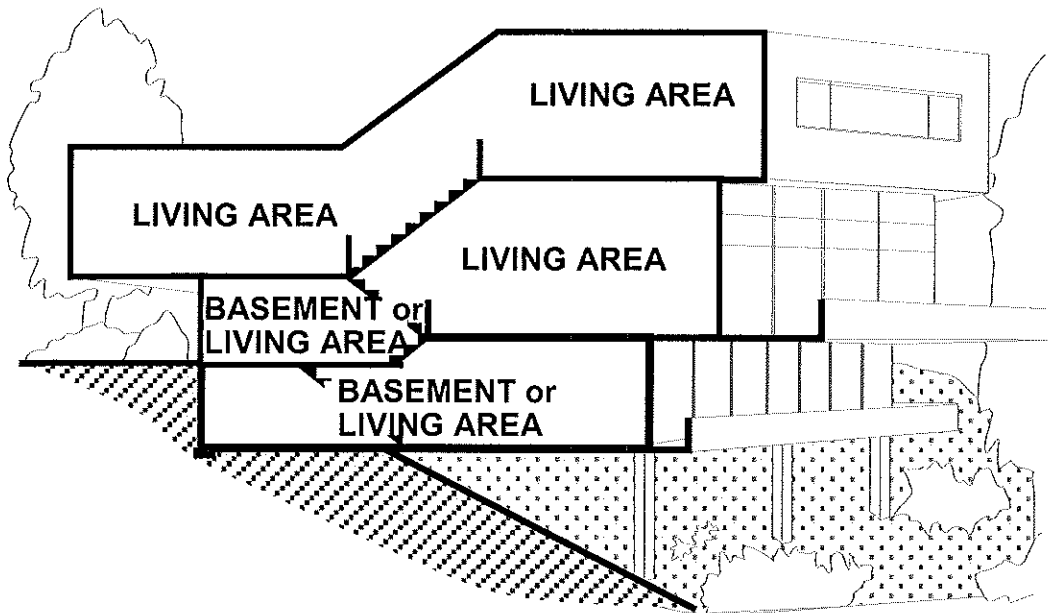


Style 05 – Colonial



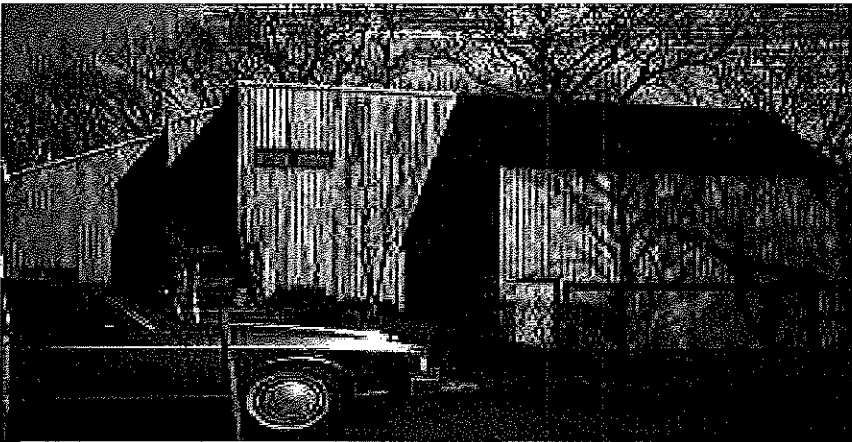
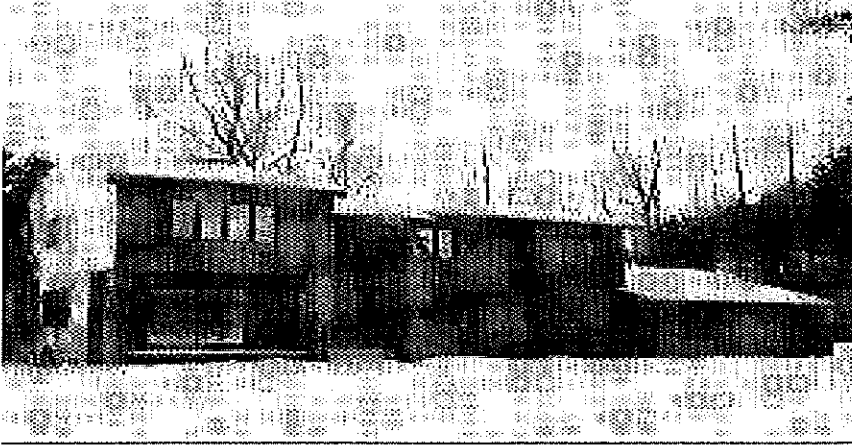
**Building Style 06 - Contemporary**

This classification is used to describe a dwelling style that is somewhat unique in structure. It is usually custom built with any variety of story heights from 1 to 2, varied rooflines, and is a structure given to open living with many combinations of the traditional room layouts. Large overhangs, split and drop floor levels, large amounts of fixed glass, and unique wood and stone facings typify these homes. The roof may be traditional, shallow or steep gable, flat, hip, mansard, or a unique combination of these. Dwellings of this style are normally considered to have a construction grade of Grade "A" - Excellent or Grade "B" - Good. An exception to this would be the A-Frame style house which usually has a construction grade of Grade "C" - Average or below.



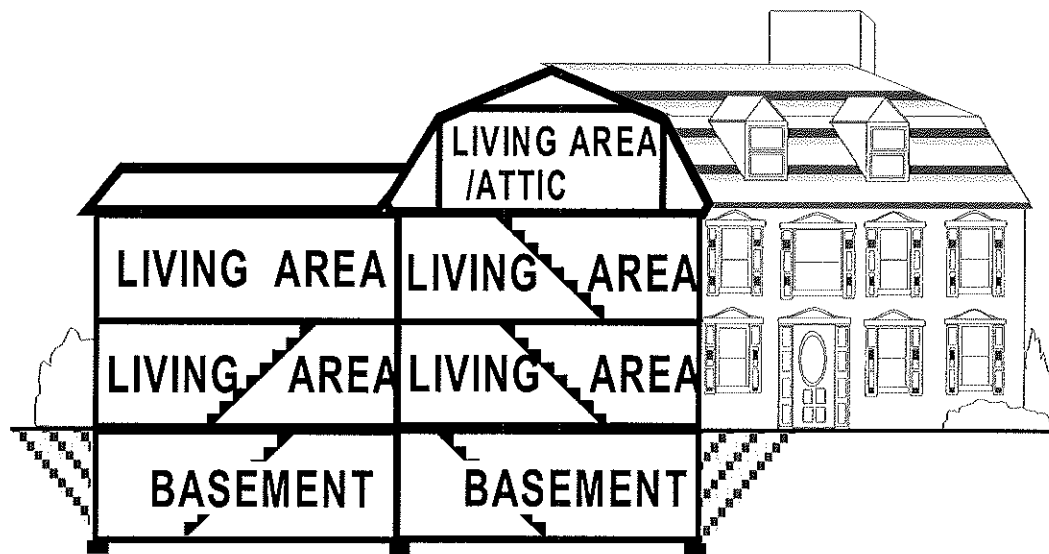


Style 06 - Contemporary

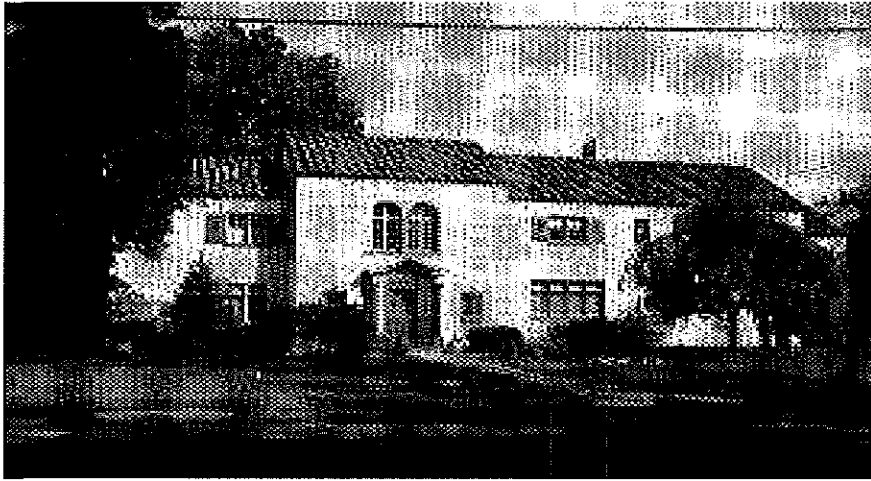


**Building Style 07 - Mansion**

This style of dwelling is designed and built without regard to cost; the best quality materials are used throughout and you will usually not find two structures which are identical. Normally the number of rooms in a mansion will exceed 10, with nearly 1 bathroom for every bedroom. Large open rooms, multiple kitchens, a large dining room, multiple entertainment rooms, cathedral ceilings, and archways are all common. Also, because of the design and cost of materials, this style should only be used with the Grade "A" - Excellent construction grade.

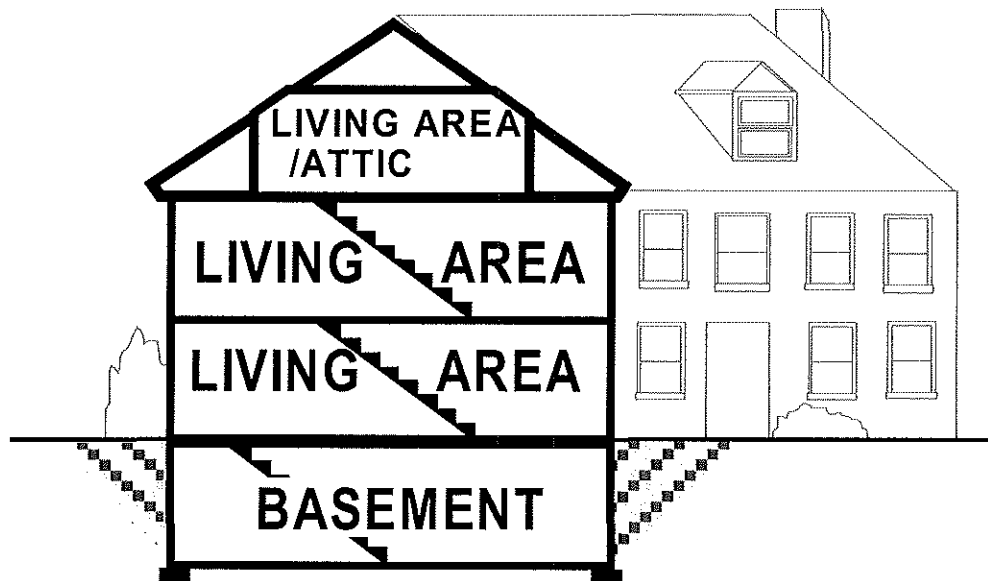


Style 07 – Mansion



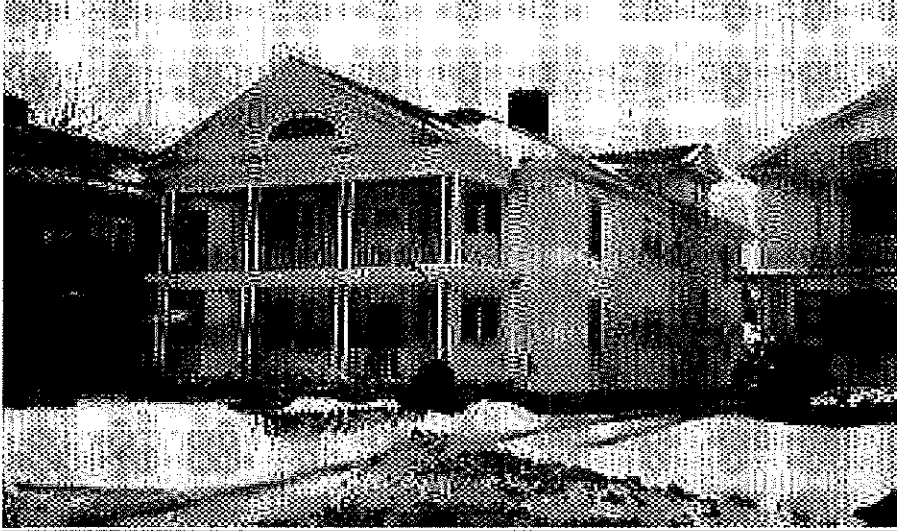
**Building Style 08 - Old Style**

The Old Style residence type is a complex, older structure, built prior to 1950 and often exceeds 100 years in age. It encompasses many varied sizes and combinations of typical dwelling styles. (Both single family and multi-family residences are included in this building style.) A typical Old Style shows signs of physical and functional obsolescence throughout and is of average construction quality. Normally there are many rooms and evidence of several expansions with little regard given to design. It is often characterized by a high pitched roof, concrete or brick or stone foundations, clapboard siding, and some stone or brick facing. Interiors usually contain hardwood floors and trim, lath and plaster walls, plaster or metal high ceilings, and in many cases, old style plumbing fixtures. Principal rooms such as the kitchen, living room, and dining room are on the first floor, with bath and bedrooms on the second floor. Story height may vary from 1½ stories to 3 or 4 stories. The high interior ceilings, complex floor plan, and lack of insulation make them difficult to heat and maintain.



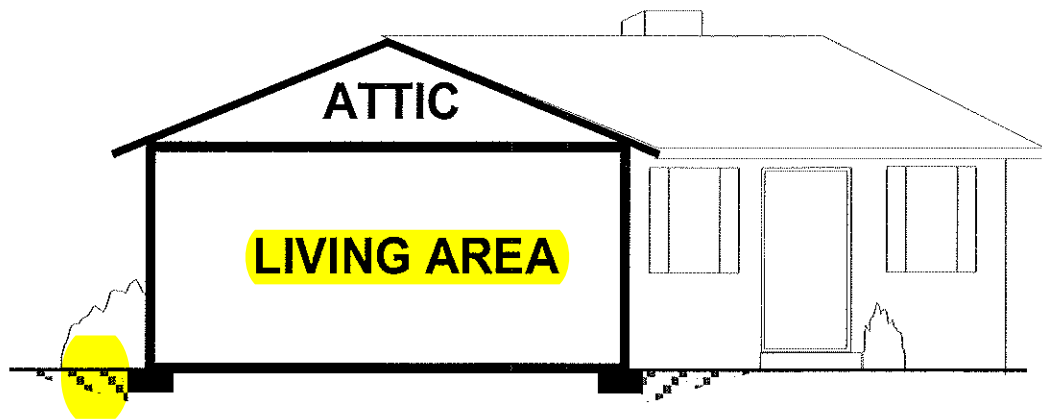


Style 08 - Old Style

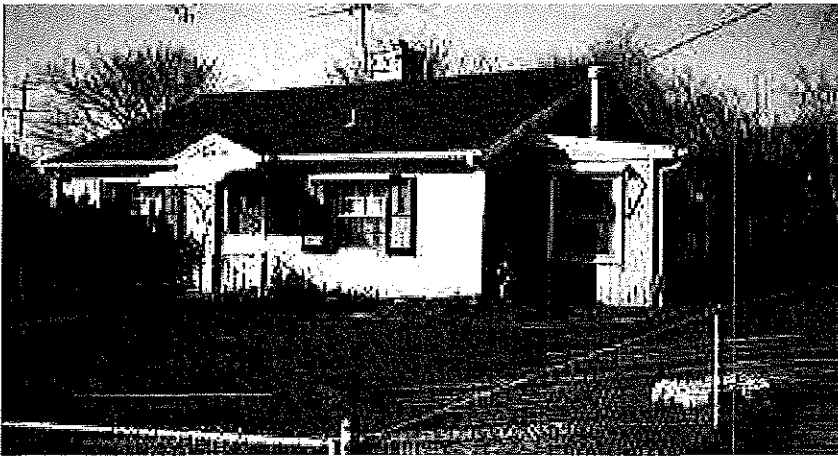


**Building Style 09 - Cottage**

Cottage style residences will typically not exceed 1,000 square feet in size and will typically be average 700 square feet in size, with almost square dimensions. This residence style has a low roof pitch with either a gable or hip roof. The interior is simply finished and it may or may not have plumbing, electricity, or heat. There are only 4 rooms in most cottages: the living room, kitchen, two bedrooms, and a bath. Normally, this residence is used as a seasonal residence or a starter residence. It is usually either a Grade "D" - Economy or Grade "E" - Minimum construction grade.



Style 09 – Cottage



Building Style 10 - Row House

Row Houses are normally older structures, built before 1950, in an urban neighborhood which share a common wall with neighboring residences. These residence styles sometimes share an entire city block and are 2 to 5 stories in height. They are an urban, dense population type structure which will often occupy the entire lot. The exterior finish is typically brick or stone with a flat roof.



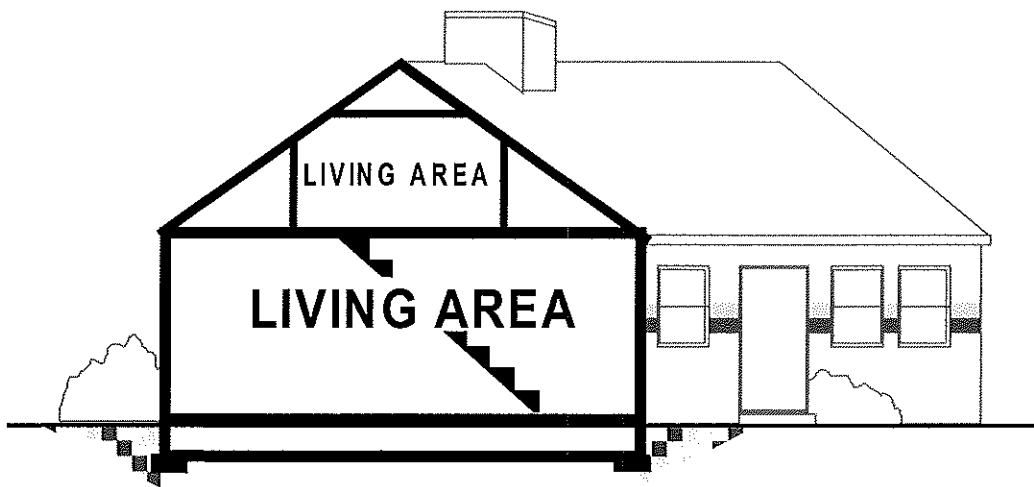


Style 10 - Row House

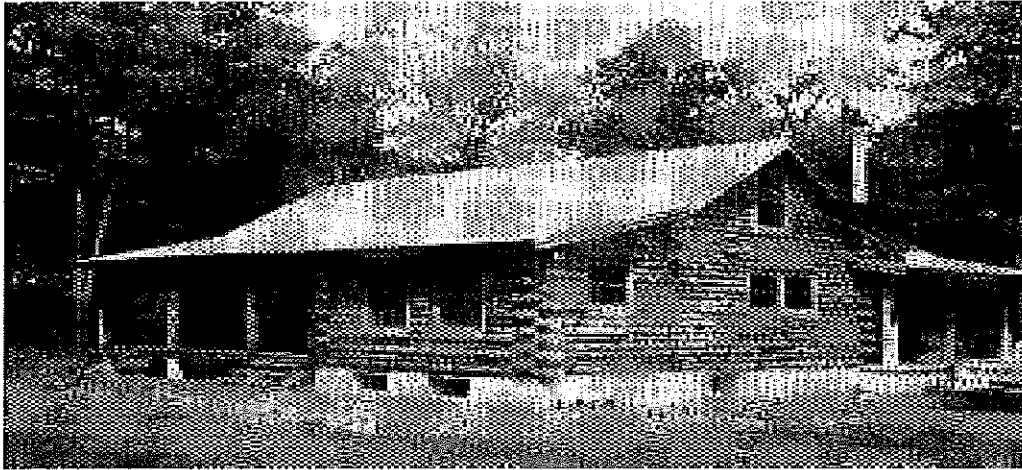


Building Style 11 - Log Cabin

This dwelling style marks a resurgence of the historical log cabin dwelling. It can be constructed with any variety of design and is typified by the use of wood logs as the primary building material.

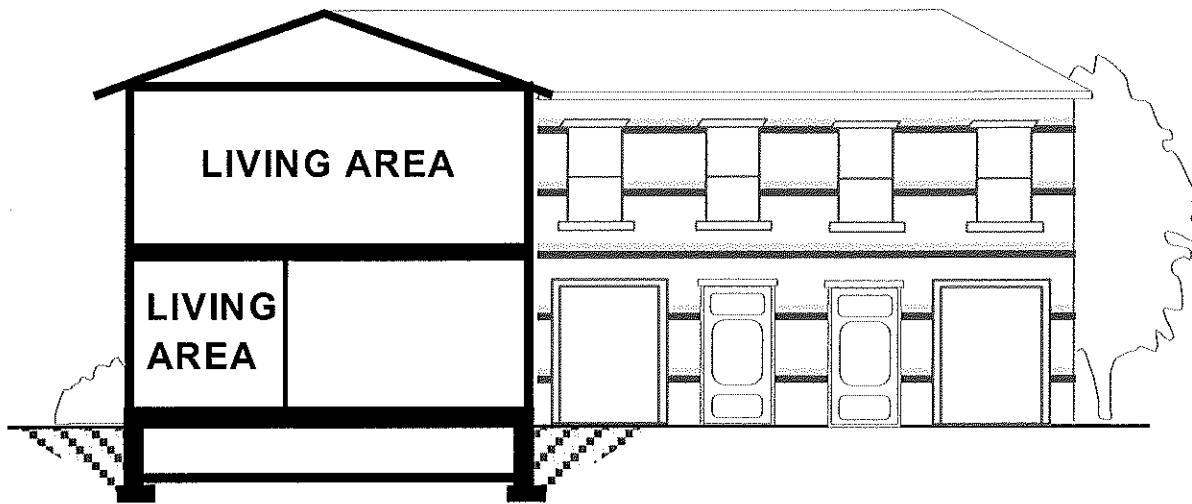


Style 11 - Log Home



Building Style 12 - Duplex

The Duplex style is defined as a multi-family residence, which was built after 1950. Multi-family residences built prior to 1950 should be recorded as an Old Style. The Duplex Style is usually a horizontal, side-by-side unit. It often resembles the Raised Ranch style or the Colonial style in that it is generally symmetrical with a balanced array of windows, doors, and garages on the front.



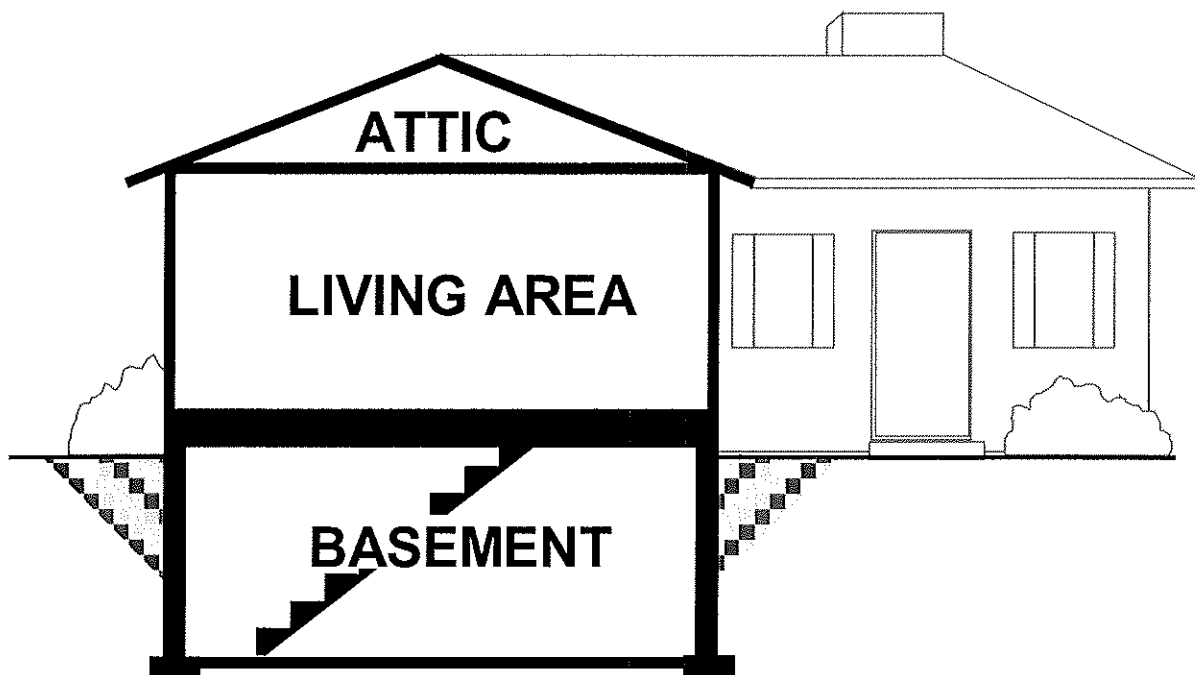


Building Style 12 – Duplex



Building Style 13 - Bungalow

The Bungalow is a small residence, usually averaging less than 1,000 square feet in size. Bungalow style homes were built most frequently in the early 1900's and reached peak popularity in the late 1920's. They were built with 2 or 3 bedrooms in a row on one side of the interior floor plan, a living room-dining room combination, and a kitchen and pantry opposite the bedrooms. This floor plan is considered outdated and as such displays some functional obsolescence. Front and rear porches (covered or enclosed) are commonly used either as an entryway or for storage in this style. In some cases, Bungalows have a ½ area or attic which is finished; this finished area is usually inferior to the first story and was not complete when the house was first constructed.



Building Style 13 - Bungalow



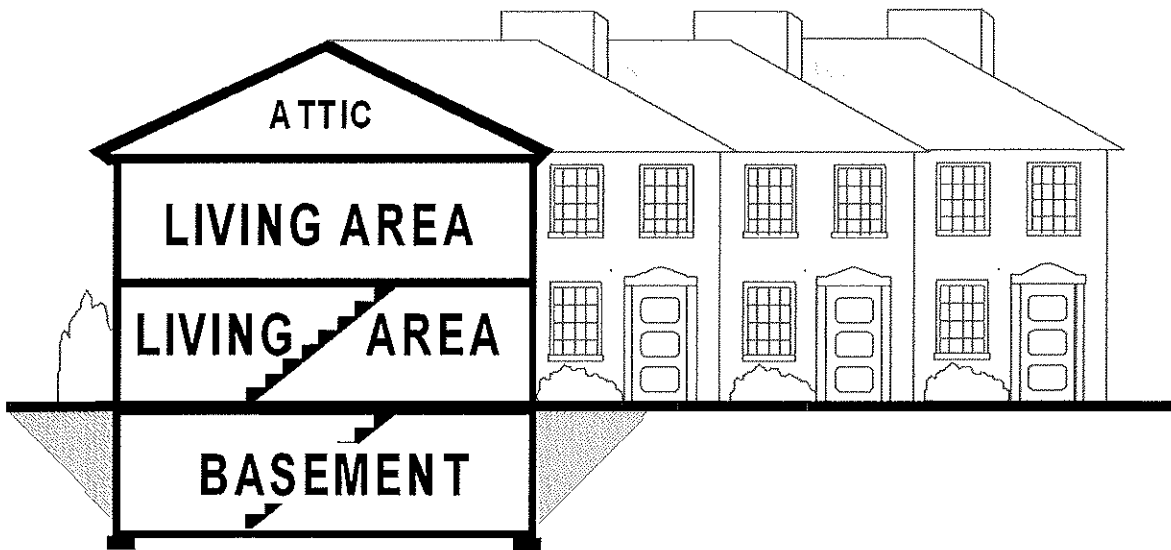
Building Style 14 - Other

This style should have very limited use. If a specific residence is not close in style to any of the other descriptions, this code should be used. Where no other building style fits the residence being data collected, ORPS data collectors should use this code. **The individual municipalities must determine what building types will be collected as Other Style.**



Building Style 15 - Town Houses

Town Houses are multiple single family dwellings of varied style which are typically 2 stories in height and share common walls. They generally have frame construction and have been built subsequent to 1950. These differ from condominiums in that the land is individually owned.



Building Style 15 - Town Houses



**Building Style 16 – A-Frame**

This triangular shaped home is named for the distinctive shape of its roofline, a steeply sloping roof that extends to the ground on two sides. The steep slope of the A-frame roof is designed to reduce heavy snow build up. The sloped roof creates a half floor at the top of the house that can be used as a loft or storage space. Also, this roofline creates a triangular "dead space" at the base of the walls on each floor. There are large windows on the front and rear facades, which are usually 1.5 or 2.5 in story height. A-frame houses have limited living space and are usually built as vacation cottages.



Building Style – 17 – Manufactured Housing

Manufactured homes are structures built as dwelling units with a permanent chassis to assure the transportability of the home. The steel chassis is generally a permanent and necessary structural component. Manufactured homes built in the U.S. after July 15, 1976 must contain a red label on the home; the label is the manufacturer's certification that the home section is built in accordance with the HUD construction and safety standards. The term "Manufactured Housing" is used for factory-built homes produced prior to June 15, 1976, when the HUD Code went into effect. By 1970, these homes were built to voluntary industry standards that were eventually enforced by 45 of the 48 contiguous states.

This code does not include Modular housing. Modular homes can be transported on a chassis, but the undercarriage is generally not a permanent or necessary structural component. Modular housing should be priced the same as "site-built" homes.



## GENERAL BUILDING STYLE CHARACTERISTICS

BLDSTY	STORY HEIGHT	YEAR BUILT	GRADE	FIRST STORY LIVING AREA	FINISHED ATTIC	FINISHED BASEMENT	FINISHED REC ROOM	BASEMENT TYPE	ROOM SIZE	SFLA
RANCH (01)	1.0	>1950	ANY	700-3000	No	No	Y/N	ANY	AVERAGE	700-3000
RAISED RANCH (02)	1.0	>1959	B-D	700-2000	No	Yes	No	Full Bsmt. W/Garage	AVERAGE	700-3000
SPLIT LEVEL (03)	1.0-2.0	>1950	B-D	700-2000	No	Yes	No	Partial-Full W/Bsmt Garage	AVERAGE	700-3000
CAPE CODE (04)	1.5-1.7	>1930	B-D	700-2000	No	No	Y/N	ANY	SMALL- AVERAGE	700-2000
COLONIAL (05)	2.0-2.5	ANY	A-D	700-2500	Y/N	No	Y/N	ANY	AVERAGE- LARGE	1000- 4000
CONTEMPORARY (06)	ANY	>1960	A-C	700-3000	Y/N	No	Y/N	ANY	AVERAGE- LARGE	700-4000
MANSION (07)	ANY	ANY	A-B	1500- ANY	Y/N	No	Y/N	Partial-Full	AVERAGE- LARGE	3000- ANY
OLD STYLE (08)	ANY	<1950	ANY	500-2500	Y/N	No	No	ANY	ANY	700-4000
COTTAGE (09)	1.0-1.5	ANY	C-E	300-800	Y/N	No	No	Slab-Crawl	SMALL	300-1200
ROW (10)	2.0-4.0	<1950	B-D	600-1500	Y/N	No	No	ANY	SMALL- AVERAGE	1200- 4000
LOG CABIN (11)	1.0-2.0	>1960	B-D	600-1500	Y/N	No	No	ANY	AVERAGE	600-2000
DUPLEX (12)	ANY	>1950	B-D	1000- 2000	Y/N	No	Y/N	ANY	AVERAGE	1000- 4000
BUNGALOW (13)	1.0-1.5	<1940	C-E	600-1000	Y/N	No	Y/N	ANY	SMALL- AVERAGE	600-1200
TOWN HOUSE (15)	2.0	>1950	B-C	600-1000	No	No	No	FULL	AVERAGE	1200- 2000

THIS IS A GENERAL GUIDE TO BUILDING STYLE CHARACTERISTICS, SOME RESIDENCE, ALTHOUGH THEY FIT A PARTICULAR BUILDING STYLE, MAY FALL OUTSIDE OF THE CRITERIA SHOWN HERE.



8.4# ACTUAL YEAR BUILT

This is the variable for chronological age. This item is used to record the actual year in which the residence was constructed. If the owner does not know the actual year of construction, estimate to the best of your ability using the General Building Style Characteristics chart on page 34 and similar properties with known ages as a guide. This item functions exactly the same in Version 4 as it did in Version 3.

8.5 EFFECTIVE YEAR BUILT

This item is used to record the effective age of a building(s) on a site. Typically, effective age is determined by comparing the physical condition of one building with that of other like-use newer buildings. Effective age may or may not reflect the actual or chronological age, since maintenance and design are factors that may increase or decrease the aging process. For a complete guide to this topic and some sample calculations, see Assessor's Manual, Commercial Building Section 9.

8.6 YEAR REMODELED

This item is used to record the year in which the subject property was remodeled. Usually this means that there was enough remodeling activity to effect a property value change. This item will be a factor in the calculation of "Effective Year Built".

8.7 NUMBER OF KITCHENS

This item is used to record the number of complete kitchens in the residence. The facility must be equipped with, at a minimum, a functional sink, range and/or oven, and a refrigerator.



**11.1 STRUCTURE CODE**

This item is used to record the three digit alphanumeric structure code used to denote the type of improvement being described. A list of valid structure codes and definitions can be found in Appendix A. The commonly used residential structure codes are listed on the data collection card. Included with the definition of each structure code is the measurement criteria applicable to the improvement. Enter the indicated measurement information in the measure code and dimension fields using the following definitions as additional guidelines.

**NOTE:** An improvement for which there is no structure code should be recorded as a miscellaneous structure, "MS1". A measure code of "4" (dollars) should be applied and the structure should be manually valued by entering the dollar amount of a single structure in Dimension 1. The other information in this section should be recorded as is done with any other structure, or it may be left blank.

**11.2 MEASURE CODE**

This item is used to record the measurement code that indicates how the measurements of the structure are recorded in the Dimension 1, Dimension 2, and Quantity fields. (See Appendix A for appropriate codes to be used with each structure code.)

**MEASURE CODES**

- 1 - Quantity
- 2 - Dimensions
- 3 - Square Feet
- 4 - Dollars

**MEASURE CODE DEFINITIONS**

- 1 - Quantity - This indicates that no physical measurements will be entered in Dimension 1 or Dimension 2. When a Measure Code of "1" is used, an entry must be made in Quantity.
- 2 - Dimensions - This indicates that there will be some type of measurement entry in both Dimension 1 and Dimension 2. In most cases, the entries will comprise the length and width of the structure, but they could indicate other measurement data (e.g., the length and height of a fence). When a Measure Code of "2" is used, an entry must be made in both Dimension 1 and Dimension 2.

- 3 - Square Feet - This indicates that there will be an entry into the "Square Feet" item on the card, and the "Square Feet" window on the V4 database screen. Useful for odd-shaped improvements, where use of Dimensions 1 & 2 would give misleading or inaccurate answers.
- 4 - Dollars - This indicates that the item has been manually valued and that a dollar entry has been made in Dimension 1. This is used only for miscellaneous structures (MS1), or for locally defined structure codes. When a Measure Code of "4" is used, a dollar amount must be entered in Dimension 1

### 11.3 DIMENSION 1

Used only in conjunction with Measure Code 2 (Dimensions and 4 (Dollars).

### 11.4 DIMENSION 2

This item is used to record the second measurement of a structure requiring two measurements. This is only used with a measure code of "2".

### 11.5 SQUARE FEET- (MISCELLANEOUS)

This item is used to record the square footage of improvements from the structure code list. This item is useful for odd-shape improvements whereby "length times width" would give an inaccurate answer. See Residential Appendix A for a list of qualifying improvements.

### 11.6 QUANTITY

This item is used to record the number of identical units that are being accounted for by a single structure code. If there are two identical sheds, for example, quantity will be "2" and a cost for two identical sheds will be produced.

This is also required when a measure code of "1" is used to indicate that Quantity is the only measurement required.

### 11.7 GRADE

This item is used to record the quality of materials and workmanship for the structure. For attached improvements, the grade is usually the same as the residence.

GRADE CODES

- A - Excellent
- B - Good
- C - Average
- D - Economy
- E - Minimum

GRADE CODE DEFINITIONS

- A - Excellent - This indicates the use of excellent quality materials and fine workmanship throughout.
- B - Good - This indicates the use of above average materials and workmanship.
- C - Average - This indicates the use of standard materials and workmanship.
- D - Economy - This indicates the use of lightweight, inexpensive materials and average workmanship.
- E - Minimum - This indicates the use of inferior materials and poor workmanship.

11.8 CONDITION

This item is used to record the physical condition of the structure.

CONDITION CODES

- 1 - Poor
- 2 - Fair
- 3 - Normal
- 4 - Good
- 5 - Excellent

CONDITION CODE DEFINITIONS

- 1 - Poor - This indicates the item shows obvious signs of excess deterioration for its age. One possible cause is deferred maintenance over a long period of time. Another is heavy wear and tear from extremely heavy use or extreme reaction to the elements (outside improvements only). To return it to normal condition, the item would need renovating or overhauling.
- 2 - Fair - This indicates the item shows some signs of excess deterioration for its age. One possible cause is deferred maintenance over a short period of time. Another cause is greater than normal wear and tear from heavy use or poor reaction to the elements (outside improvements only). To return it to normal condition, the item would need considerable work.
- 3 - Normal - This indicates the item shows signs of age and deterioration proportional to its age, and has received normal use and maintenance.
- 4 - Good - This indicates the item shows less deterioration, relative to its age than normal. It has less wear and tear than normal from either light use, minimal reaction to the weather (outside improvements only), or partial renovation or overhaul.
- 5 - Excellent - This indicates the improvement is in "like new" condition, or that the improvement has had major renovation.

**11.9 ACTUAL YEAR BUILT**

This item is used to record the year built (chronological age) of the improvement. In many cases the date will be the same for the main structure but it could be different, especially in the case of yard improvements. This item works the same in version 3 as in version 4.



**11.10 EFFECTIVE YEAR BUILT**

This item is used to record the effective age of the improvements on site. They may be attached to the main structure, or they may be stand-alone improvements. Typically, effective age is determined by comparing the physical condition of one improvement with that of other like-use newer improvements. Effective age may or may not reflect the actual or chronological age, since maintenance and design are factors that may increase or decrease the aging process. For a complete guide to this topic and some sample calculations, see Assessor's Manual, Commercial Building Section 9.

**11.11 PERCENT GOOD**

Percent Good is an estimate of the value of a property, expressed as a percentage of its *replacement cost*, after *depreciation* of all kinds has been deducted.<sup>1</sup> This item cannot be data collected, but has to be calculated as part of the analysis phase of the appraisal process. For entry into the database, percent good (also known as a *residual*) is a whole number with a value between 10 and 100.<sup>2</sup> This item will adjust the final value. Entry is optional and can be left blank.

**11.12 FUNCTIONAL OBSOLESCENCE**

This item is one of the three general causes of accrued depreciation, the other two of which are physical deterioration and economic obsolescence. More specifically, it is a loss in value due to the inability of a structure to adequately perform the function for which it is used. Functional obsolescence results from changes in demand, design, and technology, and can take the form of deficiency (e.g., - one bathroom), need for modernization (e.g. - outmoded kitchen), or super adequacy (e.g. - overly high ceilings). In any case, buyers perceive a loss in utility; therefore, the price offered is lower due to reduced demand.<sup>3</sup> For a complete discussion on this topic, please refer to "Property Appraisal and Assessment Administration", 1990 Edition, Chapter 8, published by the International Association of Assessing Officers.

This item cannot be data collected, but has to be calculated as part of the analysis phase of the appraisal process.

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1 "Property Appraisal and Assessment Administration", 1990 edition, IAAO, pg. 656.

2 From Boeckh Building Valuation Manual, Second Edition, copyright 1990, American Appraisal Associates, pg. R28.

3 From "Property Appraisal and Assessment Administration", 1990 Edition, IAAO, pp. 220-21

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**Structure Codes****Section APP-B**

New York State Office of Real Property Tax Services	<b>ASSESSOR'S MANUAL</b>  Data Collection and Maintenance of Property Inventories	SECTION APP-B	PAGE 1.00
		DATE	04/19/11

**RESIDENTIAL / FARM / COMMERCIAL****APPENDIX B****STRUCTURE CODES**

## STRUCTURE CODES

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In previous editions of this volume, there were two separate structure code tables: one residential, the other commercial. For this edition, both tables have been combined into one, thus allowing the data collector the flexibility to capture all site improvements regardless of use.

The structures listed on the following pages are to be inventoried in the Improvement Section of the data collection card. The three-character codes are listed in alphabetical order. Next to the code is a brief description of the improvement. Following the description is (are) the Measure Code(s) associated with that structure, along with the actual measurement(s) to be collected and recorded. The "MSR UNITS" heading indicates what unit of measurement is being applied.

When collecting commercial properties, care should be taken not to duplicate structures that are already included in the base costs of the commercial building model. This would duplicate the costing of that item and, thus, inflate the total cost for the building. For example, most commercial building models for two stories and above include costs for elevators. A second example is overhead doors: Most models, where overhead doors are typical, have a percentage of the exterior wall devoted to the cost of the overhead doors. If the building being collected has space considerably more than what is accounted for in the commercial building model, the excess should be collected as a miscellaneous improvement (MS1).

## Structure Codes

## Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
AP1	Fence, chain link: Galvanized steel cyclone or chain link with posts and rails.	2	Length	Height	----	Feet
AP2	Fence, picket: Cedar with posts.	2	Length	Height	----	Feet
AP3	Fence, stockade: Deluxe decorative view wood, one side only with posts and rails.	2	Length	Height	----	Feet
AP4	Fence, post and rail: Split cedar with posts and two rails.	2	Length	Height	----	Feet
AP5	Fence, basket weave: Wood with posts and rails.	2	Length	Height	----	Feet
AP6	Fence, ornamental iron: Formed iron bars with posts and rails.	2	Length	Height	----	Feet
AP7	Wall, brick or stone: Retaining wall.	2	Length	Height	----	Feet
AP8	Fence, aluminum chain link: Same design as AP1 but made of aluminum.	2	Length	Height	----	Feet
BB1	Billboard, double pole: Single-face poster panel with wood poles or posts and frame, wood or metal panels.	2	Length	Height	----	Feet
BB2	Billboard, single pole: Single-face or back to back faces poster with single-pole steel center mount construction, wood or metal sections or panels.	2	Length	Height	----	Feet
BE1	Bank money vault: A standard poured concrete money vault excluding the door which is inventoried as a separate item.	2 or 3	Length -----	Width -----	Area	Feet Sq Ft
BE2	Bank record vault: A standard record storage vault, excluding door. It mainly provides fire protection.	2 or 3	Length -----	Width -----	Area	Feet Sq Ft
BE3	Door, circular money vault: A high quality circular door, usually made to order.	3	-----	-----	Thick	Inches
BE4	Door, rectangular money vault: An average quality mass produced rectangular door.	3	-----	-----	Thick	Inches
BE5	Door, rectangular record storage: An inexpensive door for a record storage vault. This type of door is mainly to protect from fire and has poor theft protection features.	3	-----	-----	Fire Rating	Hours
BE6	Night deposit chute and box: The opening and storage container.	1	-----	-----	-----	Quantity
BE7	Drive-in window: The window mechanized drawer assembly and communication equipment.	1	-----	-----	-----	Quantity

## Structure Codes

## Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
BE8	Bank service window: The window, mechanized drawer, and communication equipment for walk-up service.	1	----	----	----	Quantity
BE9	Complete drive-in booth: Consists of bullet proof cage (400 to 600 SF) with rest room and canopy. Used mainly in 24-hour service installations.	1	----	----	----	Quantity
BF1	24-hour walk-up automatic teller.	1	----	----	----	Quantity
BF2	Pneumatic teller: Drive-up, stand-alone teller.	1	----	----	----	Quantity
BH1	Boathouse, one story: Used for the storage of boats. One end has an opening to drive the boat into. The other three walls are enclosed and usually unfinished. These structures generally have electricity but no plumbing. The interior also contains a dock which should be inventoried separately.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
BH2	Boathouse, two story: Similar in construction and attributes to the one story boathouse, except it has rooms on the second floor. These rooms may be slightly finished but not to the extent that they would be as living quarters.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
BH3	Boathouse, two story: Similar to a BH2 except that the second floor is finished and used as living space. This structure may have plumbing.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
BH4	Boathouse, one story dry slip: Used for the storage of non-motorized watercraft. One end has a door where the boats are carried in from. The other three walls are enclosed and usually unfinished.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
BH5	Boathouse, two story dry slip: Similar in construction and attributes to the BH4 except that it has rooms on the 2nd floor. These rooms may be slightly finished but not to the extent that they are living quarters.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
BH6	Boathouse, two story dry slip, second floor finished SFLA: Similar to the BH5 except that the second floor is finished and used as living space. This structure may have plumbing.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft

# Structure Codes

# Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
BH7	Boat shelter: Similar to a boathouse except the sides are not enclosed. These are generally pole type structures with a roof and surrounded by crib docks. Better quality structures may have a deck area on top. The crib docks should be collected separately (see DK2).	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
BK1	Bulkhead, Concrete: A bulkhead is built to retain soil or water. It is commonly used to support soil against erosion. They are used for bridge abutments, docks, and other similar applications. The depth is assumed normally to be eight feet, unless otherwise described.	2	Length	Height	----	Feet
BK2	Bulkhead, Steel: A bulkhead is built to retain soil or water. It is commonly used to support soil against erosion. They are used for bridge abutments, docks, and other similar applications. The depth is assumed normally to be eight feet, unless otherwise described.	2	Length	Height	----	Feet
BK3	Bulkhead, Wood: A bulkhead is built to retain soil or water. It is commonly used to support soil against erosion. They are used for bridge abutments, docks, and other similar applications. The depth is assumed normally to be eight feet, unless otherwise described. The construction styles all rely on a tongue and groove construction for support, availability, and water or solid extension.	2	Length	Height	----	Feet
CC1	Cabin/bungalow: Few amenities, few conveniences, constructed of minimum quality materials.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
CP4	Canopy, picnic shelter: Typical shelters are square or rectangular and are made of wood. They have broad open sides and usually no center posts and are built on concrete slabs. They usually contain enclosures for restrooms and/or small outdoor kitchen facilities.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
CP5	Canopy, roof only: A residential quality canopy or possibly a roof extension.	2 or 3	Length  ----	Width  ----	  Area	Feet  Sq Ft
CP6	Canopy, with slab: The same as CP5 but with a slab for walking or driving on.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft



## Structure Codes

## Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
CP7	Canopy with slab and screens: Basically a screened in porch with a concrete floor instead of wood.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
CP8	Canopy, commercial steel: A commercial quality canopy on a steel frame, possibly a roof extension.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
CP9	Canopy, commercial wood: A commercial quality canopy on a wood frame, possibly a roof extension.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
DK1	Stake dock: Constructed of poles in the lake bed or river bed connected by stringers and covered by docking. The docking is usually removed in winter to prevent damage. Construction is generally of wood and a common width is 4 feet.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
DK2	Dock, crib: A series of pressure treated wood cribs filled with rocks and covered by decking. Forty percent of the dock must be open underneath so that fish can swim through. May be found inside boat houses, boat shelters, or in the open.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
DK3	Dock, embedded: Constructed of steel, wood or concrete poles embedded in the water's floor, connected by stringers and covered by decking. This is similar to a DK1, except that the poles are embedded in the bottom and the decking is not removed in the winter. Construction is generally made of wood and a common width is 4 feet.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
DT1	Drive-in theater screen: A standard type screen, typically painted wood or light steel framing.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
EL1	Elevator, electric freight: A typical 4500 pound capacity, 100 foot per minute freight elevator.	2	# of Stops	Capacity (lbs.)	-----	
EL2	Elevator, electric passenger: A typical 3500 pound capacity, 500 foot per minute, 6' x 9' self-service passenger elevator.	2	# of Stops	Capacity (lbs.)	-----	
ES3	Escalator: A modern 30 degree angle escalator capable of carrying 5000 to 8000 people per hour.	2	Height	Step Width	-----	Feet

## Structure Codes

## Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
FB1	Barn, one story dairy: These barns are equipped with rows of cow stanchions, cups, and stalls. Floors are concrete with gutters. The base cost includes stanchions, cups, stalls, concrete floor, electric wiring, lights, insulation, and mechanical ventilation.	2 or 3	Length  -----	Width  -----	-----  Area	Feet  Sq Ft
FB2	Barn, one and one-half story dairy: Same as FB1, except with a half story of storage above for use as a haymow.	2 or 3	Length  -----	Width  -----	-----  Area	Feet  Sq Ft
FB3	Barn, two story dairy: Same as FB1, except with a full second story area for use as a haymow.	2 or 3	Length  -----	Width  -----	-----  Area	Feet  Sq Ft
FB4	Barn, one story general purpose: These barns have minimum stalls or pens often for young stock, beef cattle or sheep. The base schedule includes minimum pens, concrete floor, electric wiring, and lights.	2 or 3	Length  -----	Width  -----	-----  Area	Feet  Sq Ft
FB5	Barn, one and one-half story general purpose: Same as FB4, except with half a story of storage above for use as a haymow.	2 or 3	Length  -----	Width  -----	-----  Area	Feet  Sq Ft
FB6	Barn, two story general purpose: Same as FB4, except with a full second story of storage for use as a haymow.	2 or 3	Length  -----	Width  -----	-----  Area	Feet  Sq Ft
FB7	Barn, pole: A one story large area barn with roof rafters or trusses supported by poles and lacking a foundation. They have come into wide use due to their economy of construction. They may be used to house livestock, poultry, or general farm use. The base cost includes concrete floor, electric wiring, and lights.	2 or 3	Length  -----	Width  -----	-----  Area	Feet  Sq Ft
FB8	Barn, horse: Usually a small one-story wood frame barn with double pitched roof. The building may have a small loft overhead for storage. The base cost includes concrete floor, electric wiring, and lights.	2 or 3	Length  -----	Width  -----	-----  Area	Feet  Sq Ft

# Structure Codes

# Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
FB9	Swine barn: This structure is used as housing for hogs. Normally this structure has multiple uses: breeding, farrowing, and growing - all occur under one roof. Included in the base costs are: concrete walls 9 to 10 feet in height, painted wood truss roof or shed design, insulated walls and ceiling ventilation systems varied by cost, aluminum or painted steel siding, 4" to 6" poured concrete floor, electrical wiring, and lighting.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
FC1	Shed, machinery: A small one-story wood shed used for storage. The base price excludes any wiring, plumbing or floor.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
FC2	Shed, aluminum: A small one-story pre-fabricated shed used for storage. The base price excludes any wiring, plumbing, or floor.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
FC3	Shed, galvanized: A small shed similar to FC2, but made of galvanized sheet steel instead of aluminum.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
FC4	Shed, finished metal: A small one-story metal shed used for storage or as a shop. The base price includes exterior walls of heavy metal with a baked-on finish, a masonry floor, a foundation, and wiring for lights.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
FC5	Commodity Shed: Three sided shed with reinforced concrete walls, and a tall roof designed and used for the storage of grains, feed grains and other feed components which may have a flat or conical bottom and is designed specifically for on farm storage.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
FM1	Milk house: Small, separate structure used for cooling and holding milk for shipment. The base price includes concrete floor, electric wiring, and necessary plumbing. The milk tank is not included and should not be inventoried.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
FM2	Milking parlor: Separate structures wherein dairy cows are milked, the milk is cooled, and the equipment is cleaned and washed. The base price includes concrete floor, necessary plumbing, and electric wiring. Milking parlor stalls are not included in the base price.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
FM3	Milk house in barn: Similar to FM1 except shares at least one common wall with main barn.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft

## Structure Codes

## Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
FM4	Milking parlor in barn: Similar to FM2 except shares at least one common wall with main barn.	2 or 3	Length -----	Width -----	Area	Feet Sq Ft
FM5	Milking stalls: Milking stalls within the milking parlor (either the FM2 or FM4).	1	-----	-----	-----	Quantity
FM6	Milking stalls, rotary: A rotary stall carousel designed to hold 25-85 cows for the purpose of milking. Cows are loaded one at a time onto the platform that slowly rotates. By the time the platform has completed almost a full rotation, the milking cups are removed and the cows are backed off the platform.	1	-----	-----	-----	Quantity
FM7	Bulk Milk Storage: Temporary on the farm cooling and storage of raw milk, prior to tanker truck transfer to the milk processing plant. Tanks are made of stainless steel and include automatic washer.	3 or 4	----- Value	-----	Capacity -----	Gallons Dollars
FP1	One story poultry house: Barracks type one story structure used to house poultry. Walls and ceilings are insulated and there are many windows. Base price includes concrete floor, walls and ceiling insulation, and electric wiring with no forced air ventilation.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
FP2	Two story poultry house: Similar to FP1 except structure is two stories high.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
FP3	Additional-story poultry house: Similar to FP1 except structure is greater than two stories high.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
FQ3	Quonset, arch-rib: Hoop arch buildings are characterized by combustible, prefabricated, wood-post and tubular-steel, semi-circular (hoop: Quonset shape), framed roofs that curve to a short wooden or concrete pony wall, or to the ground. The roof and walls are generally covered with canvas or a woven vinyl tarp. Ground floors are typically dirt or can be a concrete slab.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft

## Structure Codes

## Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
FQ4	Air supported structure (or air-inflated structure): Any structure that derives its structural integrity from the use of internal pressurized air to inflate a pliable material (i.e., structural fabric) envelope, so that air is the main support of the structure. It is usually dome-shaped, since this shape creates the strongest structure for the least amount of material. All access to the structure interior must be equipped with two sets of doors or revolving door (airlock). Air-supported structures are secured by heavy weights on the ground, ground anchors, attached to a foundation, or a combination of these.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
FQ5	Quonset hut: A pre-cut arch rib frame steel structure which is free from interior support posts. The base costs include a concrete floor and electric wiring but no heating or plumbing.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
FS1	Concrete stave silo: Farm silo constructed of concrete staves. Base price includes roof and ladder but no bottom unloader.	2	Height	Diameter	-----	Feet
FS2	Harvestore silo: Prefabricated glass lined steel silo with bottom unloader included in base price.	2	Height	Diameter	-----	Feet
FS3	Wood stave silo: Similar to FS1 except constructed of wood staves.	2	Height	Diameter	-----	Feet
FS4	Tile or concrete block silo: Similar to FS1 except constructed of tiles or concrete blocks.	2	Height	Diameter	-----	Feet
FS5	Metal silo: Similar to FS1 except constructed of metal.	2	Height	Diameter	-----	Feet
FS6	Steel storage bin: Base price of storage bin includes a concrete base, metal exterior wall and roof, access and fill hatches, crawl door, and ladder.	2	Height	Diameter	-----	Feet
FT1	Concrete wall bunker silo: Lowest cost farm silo consisting only of wall sections and supports. Walls are concrete with either concrete pillar type supports wooden railroad ties, or both. Assumed height 8'; width is assumed to be 32' wide. Base includes concrete floor.	3	----	----	Length	Linear Ft (Walls)

# Structure Codes

# Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
FT2	Treated wood wall bunker silo: Similar to FT1 except composed of 6'-12' posts with wood planking secured steel U-bolts or U-straps. The width is assumed to be 32' wide. Base cost includes concrete floor.	3	----	----	Length	Linear Ft (Walls)
GB1	Gazebo, standard: Typical gazebos are octagon and can be made out of any building material (wood, steel, plastic, etc.). These commonly have broad open sides with a railing and no center post. The roofs are hip or mansard style which is supported by posts. These units can have a floor or can be placed on the ground.	3	----	----	Diameter	Feet
GB2	Gazebo, deluxe: Similar to a GB1 except that these commonly are enclosed with doors and are generally larger than the standard. These units may have electric and plumbing and generally have a floor.	3	----	----	Diameter	Feet
GC2	Simple designed golf course: 18 holes on 110 acres, 6900 yards long, par 67 on flat terrain, few bunkers, small tees. Base price is per hole.	1	----	----	Quantity	Holes
GC3	Typical private club golf course: 18 holes on 130 acres, 6500 yards long, par 70 on undulating terrain, bunkers at most greens, some large trees moved in or clearing of some wooded areas, driving range.	1	----	----	----	Quantity # of holes
GC4	Championship golf course: 18 holes on 160 acres, 6900 yards long, par 72 on undulating terrain, fairway and greens bunkered and contoured, large tees and greens, large trees transplanted.	1	----	----	----	Quantity # of holes
GC7	Pitch and putt course: A typical par 3. The base price is per hole.	1	----	----	----	Quantity # of holes
GC8	Driving range: A typical driving range. The base price is per hole.	1	----	----	----	Quantity # stations
GC9	Miniature golf course: A typical quality miniature golf course. The base price is per hole.	1	----	----	----	Quantity # of holes
GH2	Greenhouse, residential: Base price includes wooden or metal frame, foundation, heating, lighting, plumbing, glass or fiberglass walls and roof.	2	Length	Width	----	Feet
		or 3	----	----	Area	Sq Ft



# Structure Codes

# Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
GH3	Steel frame commercial greenhouse: Base price includes steel frame, foundation, lighting, plumbing, glass or fiberglass 5-7 foot walls and roof vents.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
GH4	Wood frame commercial greenhouse: Similar to GH3, except framed with wood.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
GH5	Aluminum frame commercial greenhouse: Similar to GH3, EXCEPT framed with aluminum.	2 or 3	Length  ----	Width  ----	----  Area	Feet  Sq Ft
GL1	Grain loading equipment: Elevator type device generally surrounded by steel storage bins (FS6). Base price includes: receiving hopper and auger, elevator (conveyor), drive units, consignor, downspouts, ladders and platforms, grain retarders, grain cleaners, cushion boxes, valves and controls.	2	Height (Feet)	Capacity (Bushels/Hr)	----	Feet
GN1	Generator, built-in, residential: Generally used to power up a house during a black out. These models are fused into the residence electrical panel and automatically switch on during power outages. These models differ considerably in wattage and price when compared to portable units. These emergency generators usually come in wattages of 3,000 to 17,500. The higher wattage generators can handle all the appliances in a home simultaneously (i.e., stove, refrigerator, washer, dryer, lights, etc.).	3	----	----	Watts	Watts
GN2	Generator, built-in, commercial: Similar to a GN1 except that commercial/industrial generators can provide extremely high level of power for long periods of time. These models are fused into the electrical panel and automatically switch on during power outages. There are also many options such a noise reduction and cooling systems.	3	----	----	Watts	Watts
KO1	Kitchen, outdoor: Full service counter/prep stations that are housed outdoors in porch type structures or on decks/patios. They include full size grill, sink and refrigerator, as well as the option for additional items (i.e., pizza oven, wine cooler, etc.). There is full electric, gas and water built into the structure.	3	----	----	Length	Feet

## Structure Codes

## Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
LD1	Loading dock, wood: A common commercial style wood on heavy wood beam loading dock.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
LD2	Loading dock, steel or concrete: Heavy duty commercial loading dock.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
LP1	Paving, concrete: Concrete paving of roads including the base and site preparation. (If thickness is left blank, the cost program will default to 6 inches).	2 or 3	Area (Sq Ft) -----	Thickness (Inches) -----	----- Area	Sq Ft Sq Ft
LP2	Walks, concrete: Concrete paving of walkways including the minor site preparation, but no base. (If thickness is left blank, the cost program will default to 4 inches).	2 or 3	Area (Sq Ft) -----	Thickness (Inches) -----	----- Area	Sq Ft Sq Ft
LP3	Patio, concrete: Concrete paving of patios including minor site preparation, but no base. (If thickness is left blank the cost program will default to 4 inches).	2 or 3	Area (Sq Ft) -----	Thickness (Inches) -----	----- Area	Sq Ft Sq Ft
LP4	Paving, asphalt: Asphalt paving of roads including site preparation and base. (If thickness is left blank, the cost program will default to 4 inches).	2 or 3	Area (Sq Ft) -----	Thickness (Inches) -----	----- Area	Sq Ft Sq Ft
LP5	Walks, asphalt: Asphalt paving of walkways including minor site preparation, but no base. (If thickness is left blank, the cost program will default to 2 inches).	2 or 3	Area (Sq Ft) -----	Thickness (Inches) -----	----- Area	Sq Ft Sq Ft
LP6	Patio, asphalt: Asphalt paving of patios including minor site preparation, but no base. (If thickness is left blank, the cost program will default to 3 inches).	2 or 3	Area (Sq Ft) -----	Thickness (Inches) -----	----- Area	Sq Ft Sq Ft
LP7	Patio, flagstone: Slate flagstone on a sand base including minor site preparation.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
LP8	Patio, flagstone in concrete: Concrete paving of patios with inlaid slate surfacing including minor site preparation, but no base.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
LP9	Patio, brick: Brick on a sand base including minor site preparation.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft

# Structure Codes

# Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
LR1	Spa and/or hot tub: Attached/built-in allows for easy entry, stepping into the water from deck or seating level. Built-ins are able to use gas heating equipment, not being reliant on costly electrical power, as portables are. Custom installations locate equipment away from the tub, eliminating the sound of operation. Portables have noisy equipment underneath the box.	3	----	----	Area	Sq Ft
LR2	Pool house, standard: A structure which may contain equipment used for a swimming pool, a place to change or towel off after a swim, an open air enclosure for a hot tub, additional storage, a bathroom, and/or a social area. Limited amenities.	2	Length	Width	----	Feet
		or 3	----	----	Area	Sq Ft
LR3	Pool house, deluxe: In addition to the features of the LR2, this structure contains all the features of a small house with a complete small kitchen, bedroom and bath (full service electric and plumbing).	2	Length	Width	----	Feet
		or 3	----	----	Area	Sq Ft
LS1	Pool, steel vinyl: An in-ground swimming pool with flexible vinyl liner. Base cost includes filtering system and circulating pump.	2	Length	Width	----	Feet
		or 3	----	----	Area	Sq Ft
LS2	Pool, fiberglass: An in-ground swimming pool with rigid fiberglass shell over concrete, concrete block, or wood wall. Base cost includes filtering system, circulating pump, chlorinator, and diving board.	2	Length	Width	----	Feet
		or 3	----	----	Area	Sq Ft
LS3	Pool, poured concrete: An in-ground swimming pool made of pre-cast concrete or concrete poured in forms. Base cost includes filtering system, circulating pump, chlorinator, and diving board.	2	Length	Width	----	Feet
		or 3	----	----	Area	Sq Ft
LS4	Pool, gunite: An in-ground swimming pool consisting of a pneumatically applied mixture of concrete over a steel mesh frame. This is a premium type pool and can be found in many shapes. Base cost includes filtering system, circulating pump, chlorinator, and diving board.	or 3	----	----	Area	Sq Ft
LS5	Pool, above ground: An above ground swimming pool consisting of a steel or aluminum panel with wall braces and vinyl liner. Base cost includes filtering system and circulating pump.	2	Length	Width	----	Feet
		or 3	----	----	Area	Sq Ft

# Structure Codes

# Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
LS6	Pool, endless lap: A small pool, generally around 7' x 14' x 39" deep, that features directional jets or a power wheel designed to provide a smooth wide and deep current to give an aquatic exercise experience (swim-in place, walk-in place, and other aqua therapy). Some may also be equipped with a motorized treadmill.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
LS7	Pool, infinity edge (also known as negative edge, zero edge, disappearing edge or vanishing edge pool): A swimming or reflecting pool which produces a visual effect of water extending to the horizon, vanishing, or extending to "infinity."	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
LS8	Pool, concrete wading: An in-ground concrete wading pool, average 3' deep. The base cost includes filtering system and circulating pump.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
LS9	Pool, motel type: A commercial quality in-ground, poured concrete swimming pool. The base cost includes filtering system, circulating pump, chlorinator, heater, and diving board.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
LT1	Floodlight, mercury vapor: An industrial quality outdoor, wall-mounted assembly consisting of ballast, lamp fixture and lamp.	3	----	----	Power Rating	Watts
LT2	Floodlight, incandescent: An industrial quality, outdoor wall mounted assembly consisting of lamp fixture and lamp.	3	----	----	Power Rating	Watts
LT3	Streetlight, fluorescent: Consists of steel or aluminum pole lamp fixture, support arm for fixture, fluorescent lamp, and ballast.	3	----	----	Pole Height	Feet
LT4	Streetlight, incandescent: Consists of steel or aluminum pole, lamp fixture, support arm for fixture, and incandescent lamp.	3	----	----	Pole Height	Feet
LT5	Streetlight, mercury vapor: Consists of steel or aluminum pole, lamp fixture, support arm for fixture, mercury vapor lamp, and ballast.	3	----	----	Pole Height	Feet

# Structure Codes

# Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
LW1	In-ground water feature: A water feature is typically a splitter or decorative fountain that sits atop an underground reservoir that keeps recirculating water. These fountains can be customized to create a water feature in the landscape using ceramic urns, brass sculptures and/or carved stone structures, etc.	3	----	----	Diagonal	Inches
MH1	Manufactured housing basement area: Cost is calculated based on the square footage of basement area under the mobile home.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
MH2	Mobile home roof: An extension of the factory built roof. Cost is calculated based on the square footage of the roof area constructed at the site.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
MH5	Mobile home: Base cost includes bath, built-in kitchen, central heat, built-in furniture and some carpeting. It also includes delivery, set-up charges, and ordinary service connections. It does not include foundations, skirts, or site development.	2	Length (Length must be in DIM 1)	Width (Width must be in DIM 2)	-----	Feet
MH6	Mobile home 7' x 12' add-on room: Factory manufactured room of same quality, construction, and attributes as the mobile home.	1	----	----	-----	Quantity
MH7	Mobile home 7' x 24' add-on room: Similar to MH6, except larger.	1	----	----	-----	Quantity
MH8	Mobile home tip-out room: Factory manufactured room which is shipped tucked into the mobile home and is tipped out when set up on location	1	----	----	-----	Quantity
MH9	Mobile home wood framed add-on room: Usually constructed on-site with siding, roofing, and interior compatible with the mobile home.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
MP1	Manure pit, concrete: Concrete tanks used to store manure for fertilizer. Base price includes 6"-8" wide reinforced poured concrete walls and the manure pit roof.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
MP2	Manure pit, metal: Metal tanks used to store manure for fertilizer. Base price includes concrete foundation and floor. The walls are made of large blue-coated steel panels with glass fused to the steel.	2	Height	Diameter	-----	Feet

# Structure Codes

# Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
MS1	Miscellaneous structure: A code to describe an item which either has no code or which is being lump-sum valued. For example, an industrial property may have special real property equipment (such as extra boilers) for which there is no code. Also, a property may have some low improvements, or even buildings, which the user wants to give a lump sum value. In either case, the value must be manually calculated and entered under the primary dimension (DIM1) on card. A notation describing the structure(s) should be made in the notes area on the card.	4	Value	----	----	Dollars
OF1	Outdoor Furnace: An outdoor wood-fired boiler used as a heating system. They are generally small shacks with metal siding. They are self-contained and are only connected to the building they heat through underground insulated water pipes. They contain a metal combustion chamber for a wood fire, which is surrounded by a water tank or water jacket.	3	----	----	Gallons	Gallons
OH1	Overhead door, commercial: Complete cost of a heavy-duty wood overhead door. (Check model for percentage inclusion in base costs).	2 or 3	Length ----	Width ----	---- Area	Feet Sq Ft
OH2	Overhead door: Complete cost of a standard residential quality wood overhead door.	2 or 3	Length ----	Width ----	---- Area	Feet Sq Ft
OH3	Overhead door, steel: This is a commercial grade non-insulated sectional steel overhead door.	2 or 3	Length ----	Width ----	---- Area	Feet Sq Ft
RC1	Carport, residential type: The base price includes a single pitched roof, poles or columns to support the roof, and a concrete pad.	2 or 3	Length ----	Width ----	---- Area	Feet Sq Ft
RG1	Garage, one story attached: A residential-type garage which shares at least one common wall with the house. The base price includes a foundation, masonry floor, and lights. There is no interior finish.	2 or 3	Length ----	Width ----	---- Area	Feet Sq Ft
RG2	Garage, one and one-half story attached: Similar to RG1, except having an unfinished half story attic area.	2 or 3	Length ----	Width ----	---- Area	Feet Sq Ft



# Structure Codes

# Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
RG3	Garage, two story attached: Similar to RG1, except with a full unfinished second story used for storage.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
RG4	Garage, one story detached: A residential-type garage which is not connected to any other buildings	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
RG5	Garage, one and one-half story detached: Similar to RG4, but with an unfinished half story attic area.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
RG6	Garage, two story detached: Similar to RG4, but with a full unfinished second story used for storage.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
RG7	Garage with an apartment: Detached garage with vehicle storage on the first floor and living space on the second floor. The first floor interior finish should be comparable to a 1 story garage and the second floor should have typical residential grade finish and attributes.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
RN2	Walk-in cold room: Between 8 and 12 feet high. Base price includes framing, insulation, and mechanical equipment.	2	Area (Sq Ft)	1,2,3,4 Degree Code (note below)	-----	
RN6	Warehouse with cold storage: Area between 18 and 25 feet high. The base price includes framing, insulation and mechanical equipment.	2	Area (Sq Ft)	1,2,3,4 Degree Code (note below)	-----	
RP1	Porch, open: A porch consisting of a wood floor.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
RP2	Porch, covered: A porch consisting of a wood roof over a wood floor	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft
RP3	Porch, screen: A porch consisting of a wood roof over a wood floor on piers with screen walls.	2 or 3	Length -----	Width -----	----- Area	Feet Sq Ft

NOTE: Degree Code

1 = 40° to 55°F  
 2 = 20° to 30°F  
 3 = -10° to 20°F  
 4 = -30° to -40°F

# Structure Codes

# Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
RP4	Porch, enclosed: A porch consisting of a wood roof over a wood floor with wood walls. It differs from living area because it has no interior finish or utilities. It is usually of cheaper construction than the dwelling.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
RP5	Porch, upper open: Similar to the RP1 but found on the upper story of the dwelling. If there is another porch beneath it, it must be inventoried as another improvement record.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
RP6	Porch, upper covered: Similar to the RP2 but found on the upper story of the dwelling. If there is another porch beneath it, it must be inventoried as another improvement record.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
RP7	Porch, upper screened: Similar to the RP3 but found on the upper level of the dwelling. If there is another porch beneath it, it must be inventoried as another improvement record.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
RP8	Porch, upper enclosed: Similar to the RP4 but found on the upper level of the dwelling. If there is another porch beneath it, it must be inventoried as another improvement record.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
SG1	Sign, single face time and temperature: An automatic system to display the time and temperature in electronic numerals. This type of system is usually mounted on the side of a building and includes the display board and all associated control equipment.	1	----	----	-----	Quantity
SG2	Sign, double face time and temperature: A similar type of system as SG1 but mounted on a pole or pedestal.	1	----	----	-----	Quantity
SG3	Sign, rotator: Complete system similar to SG2, except on a rotating pole or pedestal. The base cost includes the display boards, all associated control equipment, the pole or pedestal (with bearing assembly for rotation), and the rotator motor.	1	----	----	-----	Quantity
SN1	Sign, single face neon: A common type neon sign including the transformer.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
SN2	Sign, double face neon: A common type neon sign. The base cost includes two neon signs, a divider and support assembly, and the transformer.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft

## Structure Codes

## Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
SN3	Sign, single face plastic: An inexpensive plastic cover with plastic letters over a light frame with an interior light. This type of sign is usually building mounted.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
SN4	Sign, double face plastic: Similar to SN3, except with two faces and mounted on a pole.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
SN5	Sign, single face wood: An inexpensive single face painted sign on wood with minimal floodlighting. This type of sign is usually building mounted.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
SN6	Sign, double face wood: Similar to SN5, except with two faces and usually pole mounted.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
SN7	Sign, single face metal: An inexpensive single face sign painted on sheet metal with minimal floodlighting. This type of sign is usually building mounted.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
SN8	Sign, double face metal: Similar to SN7, except with two faces and usually pole mounted.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
SP1	Solar Panels, water: Solar collectors are installed on a roof. With a two-tank system, cold water is fed through the collector, which pre-heats the water. In a one-tank system, a conventional heater is combined inside the solar storage tank.	3	----	----	Gallons	Gallons
SP2	Solar Panels, electric, photovoltaic: Solar panels consist of cells that generate electricity from sunlight. Solar panels are typically installed on the roof. Excess power is fed back to the grid, and the power company credits the property's account.	3	----	----	Kilo-watts	Kilo-watts
TC1	Tennis court, residential: Base price includes asphalt or concrete playing surface, total fence enclosure, some lights, nets, posts, and striping.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft
TC2	Tennis court, residential: Base price includes asphalt playing surface, minimum enclosure, no lights, net, posts, and striping.	2 or 3	Length  ----	Width  ----	-----  Area	Feet  Sq Ft

## Structure Codes

## Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
TC3	Tennis court, residential: Base price includes asphalt playing surface, backstops with minimum screening, no lights, net posts, and striping.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
TC4	Tennis court, residential: Base price includes grass or sod playing surface, back stops, no lights, net, posts, and striping.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
TC5	Tennis court, clay: Base price includes clay playing surface, total fence enclosures (8-12 foot tall), court lights mounted on poles, net posts, and striping.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
TC6	Tennis court, asphalt: Similar to TC5 except with asphalt surface.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
TC7	Tennis court, cork: Similar to TC5 except with rubber cork surface.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
TC8	Tennis court, concrete: Similar to TC5 except with concrete surface.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
TC9	Tennis court, synthetic: Similar to TC5 except with synthetic surface.	2 or 3	Length -----	Width -----	-----  Area	Feet  Sq Ft
TK1	Steel tank with tower: A welded steel tank mounted on a steel tower. The base price includes the tank, the tower (measured to the bottom of the tank), footings, balcony, railways, pipe to ground, valve, and indicator gauge.	2	Capacity	Height (Ft)	-----	Gallons
TK2	Wood tank with tower: Similar to TK1 except constructed with wood.	2	Capacity	Height (Ft)	-----	Gallons
TK3	Petroleum storage tank: Welded steel tank erected on sand or gravel with steel ring curb. Price includes foundation, cone roof and supports, outside ladder, roof shell manholes, and roof vent.	3	-----	-----	Capacity	Barrels
TK4	Underground fuel tank: Welded steel tank installed underground. Price includes fittings, excavation, and backfill.	3	-----	-----	Capacity	Gallons
TK5	Vertical bulk storage tank: Price includes foundation, fittings, and roof.	3	-----	-----	Capacity	Gallons

## Structure Codes

## Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
TK6	Horizontal bulk storage tank: Price includes saddles or legs, fittings, and foundation.	3	----	----	Capacity	Gallons
TK7	Propane storage tank: Above ground, high pressure storage tanks, including piping and support cradle.	3	----	----	Capacity	Gallons
TK8	Concrete surface reservoir: The base price includes foundation, dome roofs, and typical tank ancillaries.	3	----	----	Capacity	Gallons
TK9	Welded steel surface reservoir: The base price includes typical ancillaries such as roof, ladder, and fittings.	3	----	----	Capacity	Gallons (Thousand)
TL1	Underground Fuel Tank: Fiberglass construction, installed underground. Price includes piping, fill boxes and vents.	3	----	----	Capacity	Gallons
TP1	Mobile Home Pad: Cost for organized commercial mobile home park from the cheap transient park to the high quality design for permanent living. Costs included in the per space figure include the following: Engineering, grading, street paving, patios and walks, sewer, water, gas and electrical.	1	----	----	----	Quantity (Pads)
TW1	Tower, Guyed: This type of tower is supported by cable guy wires and is most commonly used in radio, television, and microwave applications. In general, the distance between the legs will increase as the height of the tower or the number of dishes increases. Guyed towers require two variables to be collected, the width of the tower and its height.	3	----	----	Height	Feet
TW2	Tower, Free: This type of tower is free standing with a metal frame design and is most commonly used in radio, television, and microwave applications. Self-supporting towers require the collection of the tower height only.	3	----	----	Height	Feet
TW3	Tower, Monopole: This type of tower is a free standing structure. Monopole towers are most commonly used in cellular telephone and personal communication service (PCS) applications.	3	----	----	Height	Feet

## Structure Codes

## Section APP-B

STR CD	DESCRIPTION	MSR CODE	DIM 1	DIM 2	SQFT/ Misc	MSR UNITS
WB1	Fireplace, zero clearance: Zero clearance fireplaces are factory built units made from sheet metal or cast iron. Zero clearance fireplaces are so named because they are sufficiently insulated to be installed within close proximity of walls or wood framework without requiring a masonry foundation.	1	----	----	----	Quantity
WB2	Fireplace, masonry construction: A fireplace that is constructed of brick, stone and/or concrete block. A chimney made of brick or stone is attached at the top to vent combusted by-products from the dwelling.	1	----	----	----	Quantity
WB3	Fireplace, free standing: Referred to as "fake fire" or gas fireplace. These fireplace units are free standing, requiring no chimney and no hearth.	3	----	----	BTU's	BTU's
WB4	Fireplace, outdoor: An outdoor fireplace similar to a WB2, but is used for building fires away from a house or commercial building. Similar in construction to WB2, an outdoor fireplace is usually added to a stone, brick or concrete patio.	3	----	----	Length	Inches
WT1	Wind Turbine, residential: This wind turbine converts wind into electricity for residential purposes. When the wind blows, the propeller turns and the alternator begins to produce electricity. The major difference between residential and commercial generators is gearing, which is not an option for residential turbines due to the small generators used, the weight, cost and size.	3	----	----	Watts	Watts
WT2	Wind Turbine, commercial: Very similar to a WT1, except for the size and capacity of the wind turbine. The primary difference is the ability to modify the gearing of the commercial wind turbines which enable the blades to turn relatively slow.	3	----	----	Watts	Watts



## CHURCH POND - 2015

Church Pond is located off Rt. 30 in Saranac Inn near the Golf Course there. It is a small pond fully developed with camps built sometime after the Adirondack Park was established. Through the years, property owners have expounded on the idea that the sales are way too high for a pond where everyone is looking at each other. Other small ponds in the immediate area at least have State Owned frontage that gives the illusion of being in a private place. The sales were there however and I went tooling along using them for the assessments. I could not help agreeing, though, that the sales did not fit the circumstances. I last did a reassessment in that town for the 2012 Assessment Roll.

The neighborhood where Church Pond resides has a Waterfront Land Schedule as follows;

1 ac. Primary Site	\$46000
1 ac. Undeveloped Site	\$30000
Residual Land 0-25ac.	\$3000 / ac.

### Economy Of Scale:

25.01-50ac. \$2000 / ac. The residual land scale slides down in increments until it stops at \$500 / ac.

Waterfront	0-200 ff	\$1200 / ff	or \$240000 (\$1200 / ff)
200.01-300ff	\$180 / ff	or \$258000	(\$860 / ff)
300.01-400ff	\$540 / ff	or \$312000	(\$780 / ff)
400.01-600ff	\$240 / ff	or \$360000	(\$600 / ff)
600.01-1000ff	\$300 / ff	or \$480000	(\$480 / ff)
1000ff and up	\$400 / ff		

### RECENT SALES ACTIVITY

One property on the pond sold in 2006 for \$350000. It resold in 2014 for \$270000. This parcel was assessed at time of sale at \$350000.

Another parcel sold in 2012 for \$285500. At the time of sale, it was assessed at \$367600.

A third parcel sold in 2014 for \$360000. At the time of sale it was assessed at \$538400.

When I did the reassessment, I had waterfront sales from 2006 to 2011 in this neighborhood ranging from \$287000 to \$1,150,000. I was easily able to justify my assessments. Until these recent sales started showing up. The petitioning from property owners caused me to reexamine the assessments on Church Pond for the 2015 Assessment Roll. I adjusted the Waterfront values down by 30% using an influence code for location. All other considerations for the land values, such as Primary site and Residual land, remain the same. The improvement value also seemed to still be accurate. The assessments now fall into an acceptable arena given the three recent sales on the pond.